



## **AGENDA**

### **SPECIAL APOPKA CITY COUNCIL MEETING @ 6:30 PM City Hall Council Chamber 120 East Main Street – Apopka, Florida 32703 November 19, 2014**

#### **INVOCATION**

#### **PLEDGE OF ALLEGIANCE**

If you wish to appear before the City Council, please submit a Notice of Intent to Speak card to the City Clerk.

#### **ORDINANCES AND RESOLUTIONS**

1. ORDINANCE NO. 2393 – SECOND READING & ADOPTION - CHANGE OF ZONING; PUD MASTER PLAN; AND TRANSPORTATION INFRASTRUCTURE AGREEMENT - Adventist Health System/Sunbelt, Inc. DBA Florida Hospital Apopka, c/o Raymond Moe, from “County” A-1 (ZIP) to “City” Planned Unit Development (PUD/Mixed EC), for property located south of Harmon Road, west of Ocoee Apopka Road, and east of S.R. 429. (Parcel ID #: 20-21-28-0000-00-007) [Ordinance No. 2393 meets the requirements for adoption having been advertised in The Apopka Chief on November 7, 2014.]

#### **SITE APPROVALS**

1. PRELIMINARY DEVELOPMENT PLAN - Adventist Health System/Sunbelt, Inc. DBA Florida Hospital Apopka, c/o Raymond Moe, for property located south of Harmon Road, west of Ocoee Apopka Road, and east of S.R. 429. (Parcel ID #: 20-21-28-0000-00-007)

#### **MAYOR'S REPORT**

## **OLD BUSINESS**

1. COUNCIL
2. PUBLIC

## **NEW BUSINESS**

1. COUNCIL
2. PUBLIC

## **ADJOURNMENT**

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All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

**Backup material for agenda item:**

1. ORDINANCE NO. 2393 – SECOND READING & ADOPTION - CHANGE OF ZONING; PUD MASTER PLAN; AND TRANSPORTATION INFRASTRUCTURE AGREEMENT - Adventist Health System/Sunbelt, Inc. DBA Florida Hospital Apopka, c/o Raymond Moe, from “County” A-1 (ZIP) to “City” Planned Unit Development (PUD/Mixed EC), for property located south of Harmon Road, west of Ocoee Apopka Road, and east of S.R. 429. (Parcel ID #: 20-21-28-0000-00-007) [Ordinance No. 2393 meets the requirements for adoption having been advertised in The Apopka Chief on November 7, 2014.]



## CITY OF APOPKA CITY COUNCIL

☒ PUBLIC HEARING  
☐ ANNEXATION  
☐ PLAT APPROVAL  
☒ OTHER: Ordinance

DATE: November 19, 2014  
FROM: Community Development  
EXHIBITS: Zoning Report  
Vicinity Map  
Adjacent Zoning Map  
Adjacent Uses Map  
Ordinance No. 2393  
PUD Master Plan  
Transportation Agreement

**SUBJECT:** **ORDINANCE NO. 2393 - CHANGE OF ZONING - ADVENTIST HEALTH SYSTEM/SUNBELT, INC. DBA FLORIDA HOSPITAL APOPKA, FROM “COUNTY” A-1 (ZIP) TO “CITY” PLANNED UNIT DEVELOPMENT (PUD/MIXED EC)**

**Request:** **SECOND READING & ADOPTION OF ORDINANCE NO. 2393 – CHANGE OF ZONING – ADVENTIST HEALTH SYSTEM/SUNBELT, INC. DBA FLORIDA HOSPITAL APOPKA FROM “COUNTY” A-1 (ZIP) TO “CITY” PLANNED UNIT DEVELOPMENT (PUD/MIXED EC); APPROVAL OF THE PUD MASTER PLAN; THE TRANSPORTATION INFRASTRUCTURE AGREEMENT. (PARCEL ID NO. 20-21-28-0000-00-007)**

### **SUMMARY**

OWNER: Adventist Health System/Sunbelt, Inc., DBA Florida Hospital Apopka  
APPLICANT: Florida Hospital Apopka, c/o Raymond Moe  
ENGINEER: Donald W. McIntosh Associates, Inc., c/o John T. Townsend, P.E.  
LOCATION: South of Harmon Road, west of Ocoee Apopka Road, and east of S.R. 429  
EXISTING USE: Vacant Land  
FUTURE LAND USE: Mixed Use  
ZONING: “County” A-1 (ZIP)  
PROPOSED ZONING: “City” Planned Unit Development (PUD/Mixed EC)  
PROPOSED DEVELOPMENT: Hospital with ancillary uses and Medical Offices (including a medical helipad)  
TRACT SIZE: 33.7 +/- acres  
MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING ZONING: As allowed by the Mixed Use FLUM Designation  
PROPOSED ZONING: Up to 200 bed hospital (600,000 sq. ft). and 200,000 sq. ft. medical office buildings

### **DISTRIBUTION**

Mayor Kilsheimer  
Commissioners (4)  
Interim CA

Finance Dir.  
HR Director  
IT Director  
Police Chief

Public Ser. Dir.  
City Clerk  
Fire Chief

City Dev. Dir.



**ADDITIONAL COMMENTS:**

The subject property was annexed into the City of Apopka on December 19, 2007, through the adoption of Ordinance No. 2013.

Staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

**COMPREHENSIVE PLAN COMPLIANCE:** The proposed Planned Unit Development (PUD) rezoning is consistent with the Future Land Use Designation of Mixed Use that is assigned to the property.

**SCHOOL CAPACITY REPORT:** No residential development is proposed within this PUD. The proposed rezoning will not increase the number of permanent residential uses presently occurring at the subject site. A capacity enhancement agreement with OCPS is not necessary for the City to adopt this Change of Zoning.

**ORANGE COUNTY NOTIFICATION:** The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on September 12, 2014.

**PUBLIC HEARING SCHEDULE:**

October 21, 2014 – Planning Commission (6:30 pm)

November 5, 2014 - City Council (3:30 pm) - 1st Reading

November 19, 2014 – City Council (6:30 pm) - 2nd Reading

**DULY ADVERTISED:**

September 26, 2014 – Public Notice and Notification

November 7, 2014 – Ordinance Heading Ad

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**RECOMMENDED ACTION:**

The **Development Review Committee** finds the proposed PUD zoning and Master Plan consistent with the Comprehensive Plan, Land Development Code, and Development Design Guidelines and recommends approval of the: (1) Change in Zoning from “County” A-1 (ZIP) to “City” Planned Unit Development (PUD); (2) The PUD Master Plan (including architectural renderings); and (3) The Transportation Infrastructure Agreement subject to review of format and content by the city attorney, for Adventist Health System/Sunbelt, Inc., DBA Florida Hospital Apopka subject to the PUD Development Standards/Conditions and the findings in the staff report.

The **Planning Commission**, at its meeting of October 21, 2014, recommended approval (7-0) of: (1) the change of zoning from “County” A-1 (ZIP) to “City” Planned Unit Development (PUD); (2) the PUD Master Plan (including architectural renderings); and (3) the Transportation Infrastructure Agreement subject to review of format and content by the city attorney, for Adventist Health System/Sunbelt, Inc., DBA Florida Hospital Apopka subject to the PUD Development Standards/Conditions and the findings in the staff report.

The **City Council**, at its meeting on November 5, 2014, (1) accepted the First Reading of Ordinance No. 2393 and held it over for Second Reading & Adoption on November 19, 2014; (2) approved the PUD Master Plan (including architectural renderings); and (3) authorized execution of the Transportation Infrastructure Agreement subject to review of format and content by the city attorney, for Adventist Health System/Sunbelt, Inc., DBA Florida Hospital Apopka subject to the PUD Development Standards/Conditions and the findings in the staff report.

**The City Council to make a separate motion for each of the following three items:**

1. Adopt Ordinance No. 2393 changing the zoning to PUD.
2. Adopt the PUD Master Plan.
3. Approve the Transportation Infrastructure Agreement.

**Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.**

## **ZONING REPORT**

### **RELATIONSHIP TO ADJACENT PROPERTIES:**

<i><b>Direction</b></i>	<i><b>Future Land Use</b></i>	<i><b>Zoning</b></i>	<i><b>Present Use</b></i>
North (County) North (City)	“County” Rural (1 du/10 ac/Agricultural)	A-1 (ZIP)	Vacant/S.R. 429
East (City)	Mixed Use	Mixed EC	Emerson Park Mixed Use PUD; parcels owned by Florida Hospital
South (County) South (City)	“County” Rural (1 du/10 ac/Agricultural) “City” Mixed Use	A-1 (ZIP) Mixed EC	Vacant/S.R. 429; parcels owned by Florida Hospital
West (City)	Mixed Use	Mixed EC	Vacant/S.R. 429

### **LAND USE**

#### **COMPATIBILITY:**

The proposed PUD zoning and a Master Plan are consistent with the Mixed Use future land use designation assigned to the property. All adjacent parcels within the City of Apopka are assigned the Mixed Use future land use designation. Based on the City’s Future Land Use Map as well concept plans previously prepared by the City, the general area including and surrounding the Florida Hospital property is planned for commercial, office, and institutional uses that generate employment. Residential development planned for the surrounding areas is intended to serve workers employed within the as area referred to as the Westside Research Park. The Master Plan is also consistent with the intent of the Ocoee Apopka Road Small Area Study that is in progress.

### **TRAFFIC**

#### **COMPATIBILITY:**

A transportation impact assessment study was prepared by the applicant’s transportation consultant, Luke Transportation Engineering Consultants, and has been accepted by the Development Review Committee and the city engineer. Pursuant to the transportation study acceptable road capacity exists to accommodate the traffic generated by the maximum build-out as proposed within the Master Plan subject to construction and implementation of the required transportation improvements set forth in the Transportation Infrastructure Agreement.

The Transportation Infrastructure Agreement also identifies additional transportation improvements that the Florida Hospital will construct if agreed upon by the City Council, as subject to the conditions set forth therein the Agreement.

### **COMPREHENSIVE**

#### **PLAN COMPLIANCE:**

The proposed Planned Unit Development (PUD) zoning is consistent with the City’s Mixed Use Future Land Use category and with the character of the surrounding area and future proposed development.

Policy 3.1.r (Future Land Use Element, Comp. Plan): The primary intent of the Mixed Land Use category is to allow a mixture of residential, office, commercial, industrial, institutional uses and public facility uses to serve the residential and non-residential needs of special areas of the City.

The proposed uses and development intensities are consistent with the Comprehensive Plan. Regarding consistencies with the Land Development Code, a PUD Master Plan allows an opportunity to provide “the zoning regulations and

overall development agenda for the proposed planned unit development and shall supplement all other requirements of the Code. Planned unit development shall meet all regulations of this Code unless the city council finds that, based on substantial evidence; a proposed alternative is adequate to protect health, safety and welfare.”

One notable alternative standard addresses building height. The Master Plan allows for a maximum height of 160 feet (habitable space). A maximum height of 35 feet is the current Land Development Code standard.

The PUD Master Plan is consistent with the Land Development Code except where alternative standards are set forth with the “PUD Development Standards” of the Master Plan. Development Review Committee has accepted these Development Standards, as appear on Sheet 2 of 9 of the Master Plan.

As required in the PUD ordinance, any change to proposed arrival and departure flight patterns must be approved by the City Council.

**BUILDING DESIGN:**

Architectural renderings of the proposed hospital building are provided with the Master Plan. The DRC finds the renderings to meet the intent of the Development Design Guidelines.

**PUD**

**RECOMMENDATIONS:**

The PUD recommendation is to assign a zoning classification of Planned Unit Development (PUD) for the described subject property.

- A. Use of the subject property shall occur as described within the PUD Master Plan and the adopting ordinance.
- B. Development Standards applicable to the subject property shall occur consistent with the PUD Master Site Plan and as described below:

Building and Fire Inspection Services. Prior to submittal of a building permit application, the applicant shall meet and discuss with the City administration regarding inspection services needs from the City. The Development Review Committee has notified Florida Hospital that the City currently does not have adequate number of qualified professional inspectors to timely complete building inspection service anticipated for the hospital complex, considering other level of service commitments for other daily building and fire department inspections. Based on the anticipated inspection needs for the hospital construction, the Development Review Committee anticipates a fiscal impact of up to \$330,000 to provide the services needed to inspect the hospital construction.

- C. The PUD Master Plan is hereby approved and is part of the PUD zoning ordinance.

**PUD**

**PERMISSIBLE USES:**

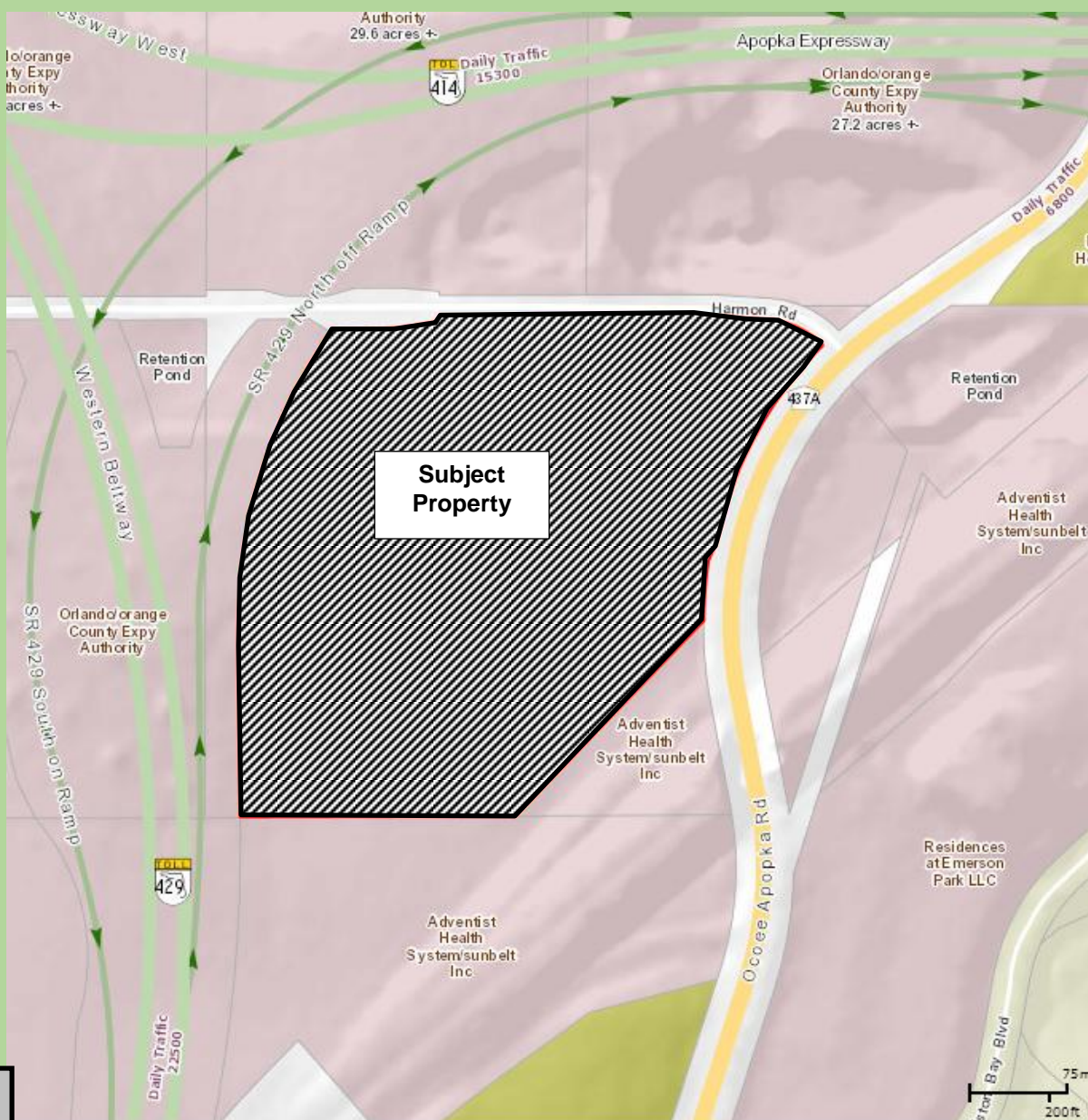
A Master Plan accompanies the PUD zoning application. All PUD development standards and allowed uses are set forth within the PUD Master Plan. Where a development or zoning standards are not addressed within the Master Plan, the City’s Land Development Code, Comprehensive Plan, and Development Design Guidelines shall apply.



**Florida Hospital Apopka Replacement Campus**  
**Owner: Adventist Health System/Sunbelt, Inc.,**  
**DBA Florida Hospital, c/o Raymond Moe**  
**Engineer: Donald W. McIntosh Associates, Inc., c/o John T. Townsend, P.E.**  
**33.7 +/- Acres**

**Proposed Zoning Change:**  
**From: "County" A-1 (ZIP)**  
**To: "City" Planned Unit Development (PUD)\Hospital, Medical Office, and Ancillary Uses)**  
**Parcel ID #: 20-21-28-0000-00-007**

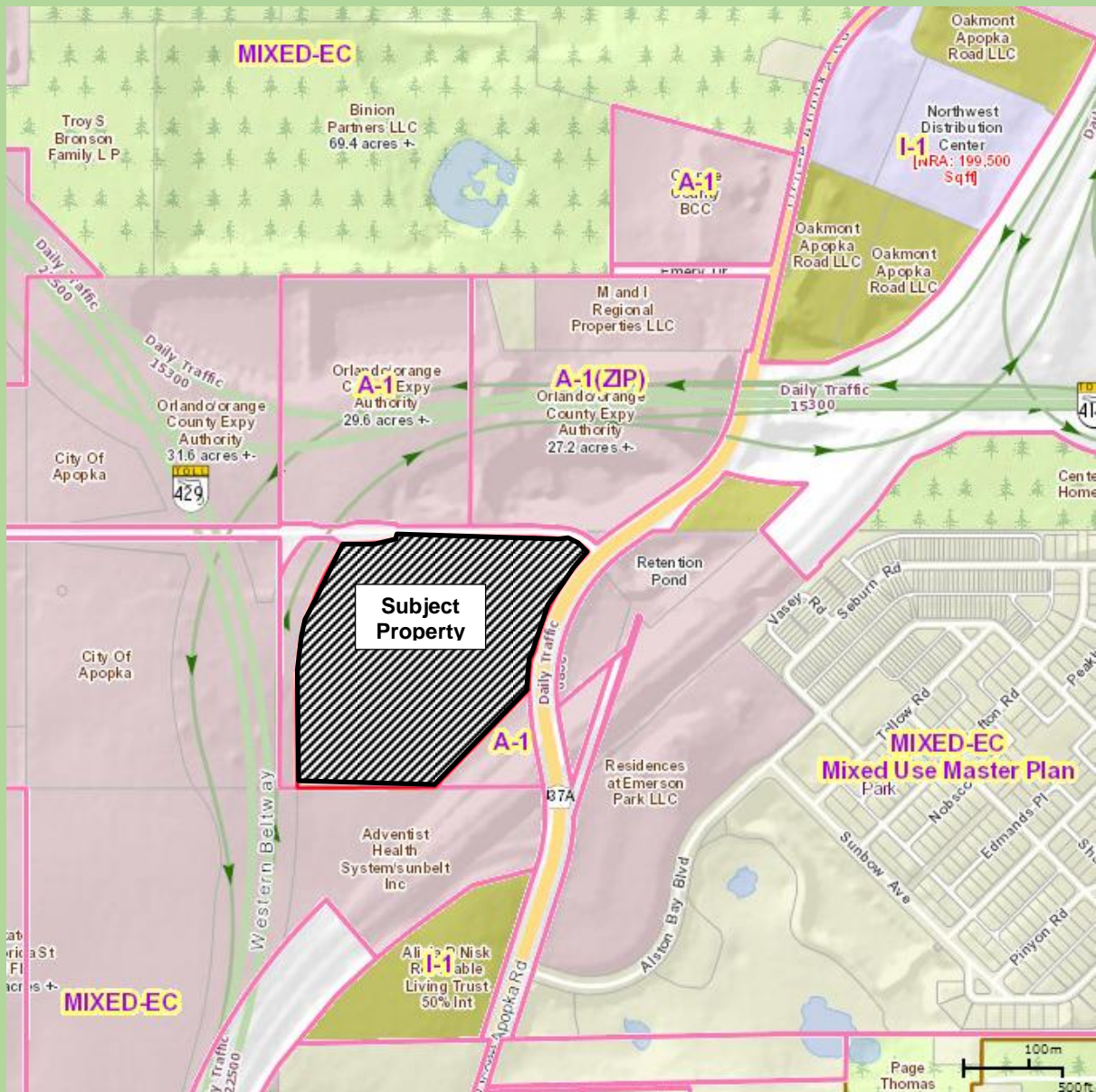
## VICINITY MAP







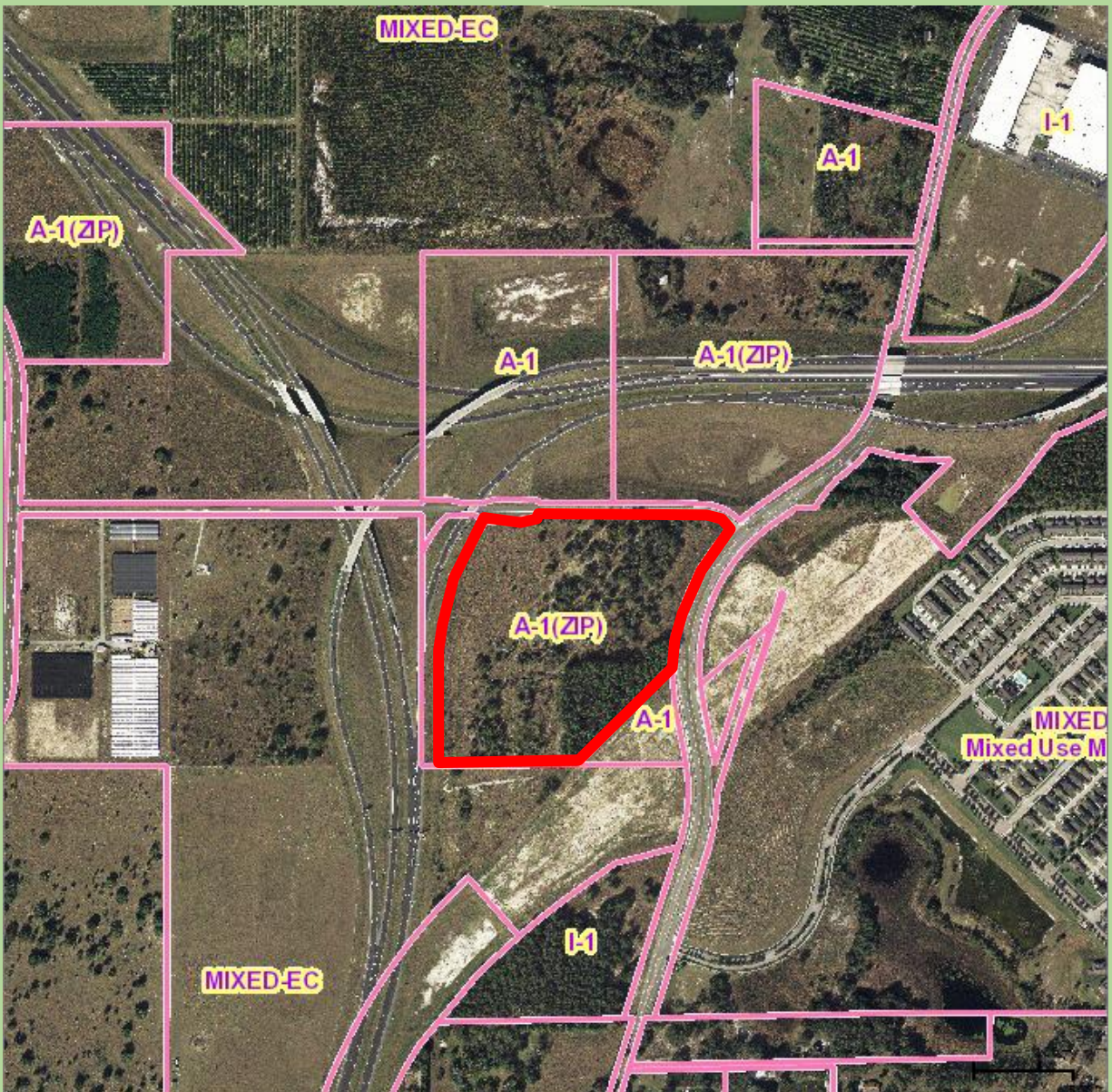
## ADJACENT ZONING







## ADJACENT USES



## ORDINANCE NO. 2393

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” A-1 (ZIP) TO “CITY” PLANNED UNIT DEVELOPMENT (PUD/HOSPITAL, MEDICAL OFFICE AND ACCESSORY USE) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED SOUTH OF HARMON ROAD, WEST OF OCOEE APOPKA ROAD, AND EAST OF S.R. 429, COMPRISING 33.7 ACRES, MORE OR LESS AND OWNED BY ADVENTIST HEALTH SYSTEM/SUNBELT, INC., DBA FLORIDA HOSPITAL APOPKA; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.**

**WHEREAS**, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

**WHEREAS**, the City of Apopka has requested a change in zoning on said property as identified in Section I of this ordinance; and

**WHEREAS**, the proposed Planned Unit Development (PUD/Hospital, Medical Office, and Ancillary Uses) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

**NOW THEREFORE, BE IT ORDAINED**, by the City Council of the City of Apopka, Florida, as follows:

**Section I.** That the zoning classification of the following described property be designated as Planned Unit Development (PUD/Hospital, Medical Office and Accessory Use), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

The PUD recommendation is to assign a zoning classification of Planned Unit Development (PUD/Hospital, Medical Office, and Ancillary Uses) for the described subject property:

- A. Use of the subject property shall occur as described within the PUD Master Plan and as described below:
  - 1. Any change to the arrival or departure flight path for the helipad must be approved by the City Council.
  - 2. Interpretation of uses allowed within the land area addressed in the PUD Master Plan shall be determined by the Community Development Director
- B. Development Standards applicable to the subject property shall occur consistent with the PUD Master Plan and as described below:
  - 1. Development standards and setbacks shall comply with those established for the within the Master Plan and as set forth within Master Plan Sheet 2, Development Standards.



2. Tree replacement shall occur consistent with the standards set forth in the City's Land Development Code (i.e., inch-for-inch replacement for qualifying trees.) Final tree mitigation calculations shall be provided with the Final Development Plan.
  3. Architectural design of the building shall be generally consistent with that approved with the PUD Master Plan unless otherwise approved by the City Council at the Final Development Plan application.
  4. Changes to the Master Plan or architectural design considered to be insignificant may be approved by the Community Development Director. Modifications to the Master Plan may be necessary to accommodate transportation improvements described within the Transportation Infrastructure Agreement.
  5. Road and pedestrian systems shall allow connections to properties south of the PUD Master Plan. Public access across the loop road shall be allowed from Harmon road to properties south of the Loop road. Easement documents shall must be accepted by the City and recorded in the official records of Orange County by the Applicant prior to issuance of a certificate of completion or occupancy to allow public access from Harmon road to properties south of the Loop road.
- C. Building and Fire Inspection Services. Prior to submittal of a building permit application, the applicant shall meet and discuss with the City administration regarding inspection services needs from the City. Building and fire inspections services shall be conducted consistent with the existing level of service offered by the City based on current staffing levels. The City is not obligated to increase its level of service for building and fire inspections to accommodate needs demanded for the hospital building construction unless otherwise addressed in a separate agreement between the City and Florida Hospital.
- D. The PUD Master Plan is hereby approved and is part of the PUD zoning ordinance.

**Section II.** That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby Planned Unit Development (PUD/Hospital, Medical Office, and Ancillary Uses) as defined in the Apopka Land Development Code.

**Legal Description:**

That part of the South ½ of the Northwest ¼ of Section 20, Township 21 South, Range 28 East, Orange County, Florida, lying Westerly of the Westerly line of the Right-of-Way of County Road 437A and the Westerly line of the limited access Right-of-Way of State Road 429, being part of Parcel 63-125, all as described in Stipulated Order of Taking recorded in Official Records Book 5460, Page 4796, Public Records of Orange County, Florida; and South of the Southerly line of Parcel 212 Part C, and East of the Easterly line of Parcel 212 Part B, as described in Amended Stipulated Order of Taking recorded in Official Records Book 8959, Page 3113, Public Records of Orange County, Florida.

Parcel ID No.: 20-21-28-0000-00-007

Total Acreage: 33.7 +/- Acres

**Section III.** That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

**Section IV.** That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

**Section V.** That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

**Section VI.** That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

**Section VII.** That this Ordinance shall take effect upon the date of adoption.

READ FIRST TIME:

November 5, 2014

READ SECOND TIME  
AND ADOPTED:

November 19, 2014

\_\_\_\_\_  
Joseph E. Kilsheimer, Mayor

ATTEST:

\_\_\_\_\_  
Linda Goff, City Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
Clifford B. Shepard, City Attorney

DULY ADVERTISED:      October 3, 2014  
                                     November 7, 2014

## MASTER PLAN

# FLORIDA HOSPITAL APOPKA REPLACEMENT CAMPUS



CITY OF APOPKA, FLORIDA

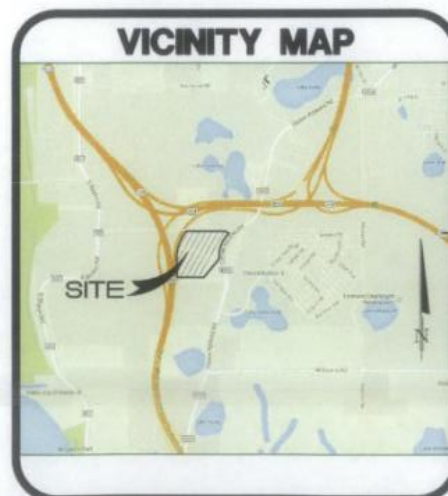
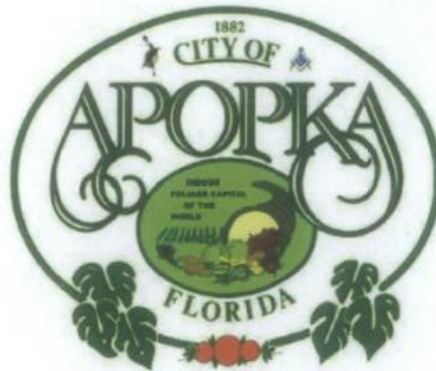
PREPARED FOR

ADVENTIST HEALTH SYSTEM/SUNBELT, INC.

(DBA FLORIDA HOSPITAL APOPKA)

201 NORTH PARK AVENUE

APOPKA, FL 32703



SECTION 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST  
PROPERTY APPRAISER PARCEL ID # 20-21-28-0000-00-007

#### LEGAL DESCRIPTION:

That part of the South 1/2 of the Northwest 1/4 of Section 20, Township 21 South, Range 28 East, Orange County, Florida, lying Westerly of the Westerly line of the right-of-way of County Road 437A and the Westerly line of the limited access right-of-way of State Road 429, being part of Parcel 63-125, all as described in Stipulated Order of Taking recorded in Official Records Book 5460, Page 4796, Public Records of Orange County, Florida; and South of the Southerly line of Parcel 212 Part C, and East of the Easterly line of Parcel 212 Part B, as described in Amended Stipulated Order of Taking recorded in Official Records Book 8959, Page 3113, Public Records of Orange County, Florida.

Containing 33.713 Acres more or less and being subject to any rights-of-way, restrictions and easements of record.

#### ENGINEER/SURVEYOR:

DONALD W. MCINTOSH ASSOCIATES, INC.  
2200 PARK AVENUE NORTH  
WINTER PARK, FLORIDA 32789  
PH: 407.644.4068  
CONTACT PERSON: JOHN T. TOWNSEND, PE

#### ARCHITECT:

EARL SWENSSON & ASSOCIATES, INC.  
2100 WEST END AVENUE, SUITE 1200  
VANDERBILT PLAZA  
NASHVILLE, TENNESSEE 37203  
PH: 615.329.9445  
CONTACT PERSON: MATT MANNING, AIA

#### OWNER:

ADVENTIST HEALTH SYSTEMS/SUNBELT, INC.  
DBA FLORIDA HOSPITAL APOPKA  
201 NORTH PARK AVENUE  
APOPKA, FLORIDA 32703  
PH: 407.889.1001  
CONTACT PERSON: JENNIFER WANDERSLEBEN

#### PROJECT MANAGER:

ADVENTIST HEALTH SYSTEMS/SUNBELT, INC.  
DBA FLORIDA HOSPITAL  
1919 NORTH ORANGE AVENUE, SUITE D  
ORLANDO, FLORIDA 32803  
PH: 407.303.1166  
CONTACT PERSON: RAYMOND MOE, SR. PROJ MGR

**REVISION OCTOBER 3, 2014**  
**AUGUST 20, 2014**



**DONALD W. MCINTOSH ASSOCIATES, INC.**  
ENGINEERS PLANNERS SURVEYORS  
2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068



**FLORIDA HOSPITAL  
APOPKA**

*The skill to heal. The spirit to care.®*

#### SHEET INDEX

- 1 COVER SHEET
- 2 DEVELOPMENT STANDARDS, SITE DATA AND NOTES
- 3 MAPS, LEGEND AND SECTIONS
- 4 EXISTING CONDITIONS PLAN
- 5 AERIAL
- 6 MASTER PLAN - PHASE 1
- 7 MASTER PLAN - PHASE 2
- 8 UTILITY PLAN
- 9 COMMERCIAL TRUCK MANEUVERABILITY PLAN
- A1-A2 CONCEPTUAL BUILDING ELEVATIONS

NOT FOR CONSTRUCTION  
DONALD W. MCINTOSH  
ASSOCIATES, INC.  
FLORIDA P.E. NO. 52127  
AUTHORIZATION NO. 68  
JOHN T. TOWNSEND  
FLORIDA P.E. NO. 52127  
DATE:

FLORIDA HOSPITAL APOPKA REPLACEMENT CAMPUS -MP-14079 - 8/20/14 - REV 10/3/14



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DEVELOPMENT STANDARDS

GENERAL

1. FLORIDA HOSPITAL SHALL HAVE THE RIGHT TO APPLY TO THE CITY'S COMMUNITY DEVELOPMENT DIRECTOR FOR A DETERMINATION THAT A PARTICULAR DEVELOPMENT MATTER IS CONSISTENT WITH THE DEVELOPMENT PLAN AND THE PUD. THE FOLLOWING EXAMPLES ARE A NON-EXHAUSTIVE LIST OF MATTERS THAT CAN BE CONSIDERED BY THE COMMUNITY DEVELOPMENT DIRECTOR:
- A. THE SPECIFIC DIMENSIONS AND BOUNDARIES OF RIGHTS-OF-WAY AND EASEMENT AREAS,
- B. MODIFICATIONS TO STREET DESIGN AND STREETSCAPES DUE TO ON-SITE HARDSHIPS,
- C. INTERPRETATION AND/OR UTILIZATION OF DESIGN STANDARDS NOT SPECIFICALLY ADDRESSED IN THE PUD.

BUILDING EXTERIOR

1. THE PROVIDED CONCEPTUAL ELEVATIONS DEFINE THE OVERALL DESIGN INTENT FOR THE PROJECT WITH REGARD TO MASSING, MATERIALITY AND COLORATION. PROPOSED MATERIALS MAY BE SELECTED TO PROVIDE A DURABLE AND HANDSOME BUILDING THAT RESPONDS TO THE ENVIRONMENT IN A SUSTAINABLE MANNER. BECAUSE THE PROJECT MAY PURSUE A LEED CERTIFICATION, MATERIALS MAY BE SELECTED BASED ON THE OVERALL LIFE CYCLE SUSTAINABILITY OF THE BUILDING - THIS STRATEGY MAY INCLUDE SELECTION OF REGIONALLY SOURCED MATERIALS, MATERIALS THAT ARE HIGHLY RECYCLABLE OR HAVE A HIGH RECYCLED CONTENT, AND MATERIALS THAT REQUIRE MINIMAL OVERALL MAINTENANCE.
2. PREDOMINANT MATERIALS MAY INCLUDE A MIXTURE OF PRECAST CONCRETE, STUCCO (MULTIPLE COLORS), UNIT MASONRY PRODUCTS, CAST IN PLACE CONCRETE, METAL PANELS, AND A GLASS AND ALUMINUM CURTAIN WALL SYSTEM AS CONCEPTUALLY ILLUSTRATED IN THE PHASE 1 ELEVATIONS PROVIDED WITH THE MASTER PLAN PACKAGE. COLORS MAY BE SIMILAR TO THOSE INDICATED IN THE ATTACHED ELEVATIONS AND MAY BE A COMBINATION OF COLORS THAT ARE BORROWED FROM NATURE AND THE SURROUNDING LANDSCAPE.

SITE IMPROVEMENTS

1. THE SITE PARKING LOTS SHALL ALL BE HARD SURFACES DUE TO THE NATURE OF THE BUSINESS BEING HEALTH CARE. MATERIALS MAY INCLUDE ASPHALT, PAVES, CONCRETE, NO GRASS PARKING WILL BE PROVIDED.
2. BUILDING HEIGHT WILL BE UP TO 160' AND UP TO 7 STORES EXCLUSIVE OF MECHANICAL EQUIPMENT, PARAPET WALLS, ARCHITECTURAL FEATURES AND ANTENNAS.
3. SERVICE AREA SHOWN ON THE MASTER PLAN WILL SERVE BOTH THE HOSPITAL AND MEDICAL OFFICE BUILDINGS. NUMBER OF LOADING SPACES WILL BE DETERMINED BY NEED BY THE HOSPITAL.
4. THE PROPOSED DEVELOPMENT WILL OCCUR IN MULTIPLE PHASES. FINAL PHASING MAY BE REVISED DURING THE PRELIMINARY DEVELOPMENT PLAN PROCESS. EACH PHASE MUST BE ABLE TO STAND ALONE.

EXTERIOR LIGHTING

1. GENERAL SITE LIGHTING FOR THE PROJECT AS A WHOLE MAY BE BASED ON THE USE OF BEST PRACTICES WITH REGARD TO FIXTURE EFFICIENCY WITH THE OVERALL INTENT TO PROVIDE AN ENERGY EFFICIENT DESIGN SOLUTION FOR SITE LIGHTING.
2. THE PROJECT MAY SEEK LEED CERTIFICATION, AND AS SUCH, THE BULK OF THE SITE LIGHTING MAY UTILIZE LIGHT EMITTING DIODE (LED) LAMPS. LARGE PARKING AREAS MAY BE ILLUMINATED VIA METAL OR CONCRETE POLES (30' MAXIMUM POLE HEIGHT) MOUNTED ON CONCRETE BASES LOCATED FLUSH WITH FINISH GRADE. MAIN ENTRY DRIVES MAY UTILIZE A MORE DECORATIVE FIXTURE WITH A SHORTER POLE HEIGHT (20'-22') TO PROMOTE A SENSE OF ENTRY. ALL LIGHT POLES MAY BE DESIGNED TO SUPPORT BANNERS AND OTHER GRAPHICS TO PROMOTE THE HOSPITAL, CAMPUS WAYFINDING, AS WELL AS WELLNESS EVENTS SUPPORTED BY THE HOSPITAL. ALL EXTERIOR LUMINAIRES MAY BE PROVIDED WITH A LED SOURCE UNLESS NOTED OTHERWISE ON FINAL DEVELOPMENT PLANS. DECORATIVE BUILDING, SITE (BOLLARDS AND PEDESTRIAN SCALE FIXTURES) AND LANDSCAPE LED LIGHTING MAY ALSO BE PROVIDED AT THE MAIN DROP-OFF CANOPIES, THE SURROUNDING EXTERIOR PUBLIC AREAS, WALKWAYS AND OTHER LANDSCAPE AMENITY AREAS TO PROVIDE ADEQUATE LIGHTING FOR THE INTENDED USE OF THESE SPACES AND TO ACCENTUATE THE OVERALL DESIGN OF THE PROJECT. LED SOURCES USED WILL INCLUDE A RELATIVELY HIGH COLOR RENDERING INDEX OF 70 OR HIGHER AND SHALL HAVE AN AVERAGE COLOR TEMPERATURE OF 4000K WHICH IS SIMILAR TO METAL HALIDE FIXTURES.

EXTERIOR SIGNAGE AND WAYFINDING

1. THE MASTER SIGN PLAN PROVIDED INCLUDES THE GENERAL DIRECTION WITH REGARD TO SIZE AND LOCATION OF THE EXTERIOR SIGNAGE AND WAYFINDING FOR THE PROJECT. DRAWINGS PROVIDED DEPICT LOCATION AND SIZE OF THE PROPOSED SIGNS TO BE PROVIDED WITH THE PHASE 1 PROJECT ONLY.
2. THE OVERALL DESIGN INTENT IS TO PROVIDE SITE SIGNAGE THAT WILL DIRECT VISITORS TO THE APPROPRIATE LOCATIONS ON SITE IN AS MINIMAL A MANNER AS POSSIBLE DESIGN OF THE SIGN BASES MAY BE HARMONIOUS WITH THE PROPOSED ARCHITECTURE OF THE BUILDING AND MAY UTILIZE MATERIALS SIMILAR TO THE PREDOMINANT MATERIALS USED ON THE BUILDING. THE MAIN ENTRANCE ON OCOEE APOPKA RD. MAY INCLUDE AN ENTRY FEATURE THAT COMBINES A GARDEN WALL WITH A GATEWAY ENTRY SIGN PLANNING THE ENTRANCE ROADWAY. ADDITIONALLY, BUILDING MOUNTED SIGNAGE MAY BE PROVIDED BY THE SIGNAGE VENDOR AND MAY BE ILLUMINATED BY AN LED SOURCE TO PROMOTE FIXTURE EFFICIENCY SIMILAR TO SITE LIGHTING. EXTERIOR LIGHT POLES MAY BE DESIGNED TO SUPPORT BANNERS AND OTHER GRAPHICS TO PROMOTE THE HOSPITAL, CAMPUS WAYFINDING, AS WELL AS WELLNESS EVENTS SUPPORTED BY THE HOSPITAL.

LANDSCAPING

1. TREE REPLACEMENT - TREES CLEARED FROM THE SITE WILL BE REPLACED 1/2 INCH DBH TO 1 INCH DBH REMOVED. THE MINIMUM SIZE OF A REPLACEMENT TREE SHALL BE THREE INCHES DBH WITH A MINIMUM PLANTED HEIGHT OF EIGHT FEET.
2. BUFFER YARD LANDSCAPING - THE BUFFER YARD LANDSCAPING IS INSPIRED BY FLORIDA'S NATURAL NATIVE LANDSCAPE. TREES AND SHRUBS SHALL BE PLACED WITH A NATURAL / ORGANIC FORM WITHIN THE BUFFER YARDS (SEE L40.02 FOR THE BUFFER YARD LOCATIONS AND L40.03 FOR LANDSCAPE BUFFER TYPICAL PLANS). A MAXIMUM 75 FEET WIDTH GAP IN TREE PLANTINGS MAY EXIST TO PROMOTE CLUSTERED ORGANIC FORM PLANTING.
- a. TYPE 'A' BUFFER (13' WIDE) LANDSCAPING ALONG OCOEE APOPKA ROAD
- A 13' WIDE BUFFER SHALL BE TREATED WITH A COMBINATION OF CANOPY TREES, EVERGREEN TREES, PALM TREES, UNDERSTORY TREES AND RETAINED EXISTING TREES. TREES SHALL BE PROVIDED ALONG THE BUFFER YARD AT AN AVERAGE FREQUENCY OF ONE TREE FOR EVERY 30 FEET OR LESS.
  - STREET TREES SHALL BE PROVIDED ALONG OCOEE APOPKA ROAD AT A 90' INTERVAL WITH 4" CALIPER CANOPY TREES.
  - A LIFT STATION SHALL BE SCREENED WITH CONTINUOUS EVERGREEN TREES AND HEDGES FROM THE PUBLIC RIGHT OF WAY.
  - A BUS SHELTER AREA SHALL BE LANDSCAPED WITH FLOWERING TREES AND ORNAMENTAL SHRUBS & GROUNDCOVERS.
- b. TYPE 'B' BUFFER (11' WIDE) LANDSCAPING ALONG HARMON ROAD
- A 11' WIDE BUFFER SHALL BE TREATED WITH A COMBINATION OF CANOPY TREES, EVERGREEN TREES, PALM TREES, UNDERSTORY TREES AND RETAINED EXISTING TREES. TREES SHALL BE PROVIDED ALONG THE BUFFER YARD AT AN AVERAGE FREQUENCY OF ONE TREE FOR EVERY 30 FEET OR LESS.
- c. TYPE 'C' BUFFER (15' WIDE) LANDSCAPING ALONG SR 429
- A 15' WIDE BUFFER WILL BE TREATED WITH A COMBINATION OF CANOPY TREES, EVERGREEN TREES, PALM TREES, UNDERSTORY TREES AND RETAINED EXISTING TREES. TREES SHALL BE PROVIDED ALONG THE BUFFER YARD AT AN AVERAGE FREQUENCY OF ONE TREE FOR EVERY 30 FEET OR LESS.
  - NO TREES TO BE INSTALLED WITHIN THE HELICOPTER FLIGHT PATH AREA ABOUT 200 FEET IN LENGTH ALONG SR 429. ADDITIONAL 100 FEET FROM THE BOTH ENDS OF 200 FEET RESTRICTED ZONE SHALL BE PLANTED WITH MEDIUM HEIGHT TREES. PER FAA REQUIREMENTS THE HOSPITAL HELIPORT REQUIRES A SAFE CLEAR ZONE FOR THE APPROACH AND DEPARTURE PATH AREA. THIS CLEAR ZONE IS AN 8:1 SLOPE RATIO STARTING AT THE FATO AROUND THE HELIPORT. TREES WITHIN THE FLIGHT PATH WILL ENROACH INTO THE REQUIRED CLEAR ZONE.
3. PARKING LOT LANDSCAPING - A MINIMUM OF (2) UNDERSTORY TREES (3" CALIPER) OR 1 CANOPY TREE (4" CALIPER) WILL BE PLACED IN PARKING LOT ISLANDS. PARKING LOT ISLANDS WILL MEET MINIMUM SIZE REQUIREMENTS AS ESTABLISHED BY LOCAL GOVERNING CODES.
4. BUILDING FOUNDATION LANDSCAPING - PLANTING BEDS WILL BE ESTABLISHED BETWEEN THE BUILDING AND PARKING LOT AT A RATE OF 35-50% OF THE LINEAR LENGTH OF THE BUILDING FOOTPRINT.

TABLE 1. TYPICAL BUFFER YARD TREE LIST			
CANOPY TREES			
QUERUS VIRGINIANA	LIVE OAK	4" CALIPER	
ACER RUBRUM	RED MAPLE	4" CALIPER	
ULMUS ALATA	WINGED ELM	4" CALIPER	
TAXODIUM DISTICHUM	BALD CYPRESS	4" CALIPER	
EVERGREEN TREES			
MAGNOLIA GRANDIFLORA 'BRACKEN'S BROWN BEAUTY'	BRACKEN'S BROWN BEAUTY MAGNOLIA	4" CALIPER	
MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	3" CALIPER	
ELAEODENDRUM DECIPENS TM	JAPANESE BLUEBERRY TREE	3" CALIPER	
ALEX X SPECIES	NELLIE STEVENS OR MARY HELL HOLLY	3" CALIPER	
UNDERSTORY TREES			
LAGERSTROEMIA INDICA	CRABE MYRTLE	3" CALIPER	
LIGUSTRUM JAPONICUM	JAPANESE PRIVET	3" CALIPER	
PALM TREE			
SABAL PALMETTO	CABBAGE PALM	HEIGHT VARIES	

SITE DATA

1. THE PROPOSED PROJECT IS DEVELOPMENT OF EXISTING VACANT PROPERTY WITH THE CONSTRUCTION AND OPERATION OF A 200 BED HOSPITAL WITH 200,000 SF MEDICAL OFFICE IMPROVEMENTS WILL INCLUDE BUILDINGS, PAVED PARKING AND DRIVE AISLES, SIDEWALKS, ASSOCIATED UTILITIES, AND LANDSCAPING.
2. PROJECT AREA: 1,488,538 SF = 33.713 ACRES
3. PROJECT ADDRESS: 1901 HARMON ROAD, APOPKA, FL 32703
4. EXISTING ZONING: ZONING IN PROCESS (ZIP) (ORANGE COUNTY A-1)
5. PROPOSED ZONING: PUD, PLANNED UNIT DEVELOPMENT
6. SURROUNDING ZONING: NORTH: A-1 (ORANGE COUNTY)  
EAST SIDE: MIXED-EC  
WEST SIDE: A-1 (SR 429 EXPRESSWAY)  
SOUTH SIDE: MIXED-EC
7. FUTURE LAND USE (FLU) DESIGNATION: MU (MIXED USE)
8. EXISTING LAND USE: VACANT, ABANDON GROVE
9. PROPOSED LAND USE: HOSPITAL, WITH ANGLIARY USES & MEDICAL OFFICE
10. SETBACKS PER CITY OF APOPKA LDC, ARTICLE 4 SECTION 2.02.01 - GENERAL:
- OCOEE APOPKA ROAD: 25 FT  
HARMON ROAD: 25 FT  
SR 429: 25 FT  
SOUTH PROPERTY LINE: 5 FT
11. PHASING: THE PROPOSED DEVELOPMENT WILL OCCUR IN MULTIPLE PHASES. PRELIMINARY PHASING IS SHOWN IN THIS MASTER PLAN SET. FINAL PHASING MAY BE REVISED DURING THE PRELIMINARY DEVELOPMENT PLAN PROCESS.
12. BUILDING/EMPLOYEE SUMMARY (ESTIMATED)
- PHASE 1: 80 BED HOSPITAL  
UP TO 80,000 SF MEDICAL OFFICE  
2480 FULL TIME EQUIVALENT STAFF
- TOTAL MAXIMUM BUILD OUT: UP TO 200 BED HOSPITAL  
UP TO 200,000 SF MEDICAL OFFICE  
81200 FULL TIME EQUIVALENT STAFF
- TOTAL FLOOR AREA: 800,000 SF
13. FLOOR AREA RATIO (FAR): ALLOWED = 0.25 MINIMUM, 1.00 MAXIMUM  
PROVIDED = 0.54
14. MAXIMUM BUILDING HEIGHT: 160' MAXIMUM, PLUS ARCHITECTURAL FEATURES, MECHANICAL EQUIPMENT, PARAPET WALLS AND ANTENNAS
- PHASE 1 BUILDING WILL BE UP TO 7 STORES, WITH ARCHITECTURAL FEATURE ABOVE AND WALK OUT BASEMENT
- FULL BUILD OUT WILL BE UP TO 7 STORES, WITH ARCHITECTURAL FEATURE ABOVE AND WALK OUT BASEMENT
15. REQUIRED VEHICULAR PARKING SPACES SHALL COMPLY WITH ARTICLE VI SECTION 6.03.02 OF THE CITY OF APOPKA LDC. REQUIRED PARKING IS AS FOLLOWS:
- PHASE 1 (80 BED HOSPITAL) \* (2 SPACE/BED) = 160 SPACES  
(80,000 SF MEDICAL OFFICE) / (1 SPACE/250 SF) = 320 SPACES  
TOTAL REQUIRED PARKING = 480 SPACES
- PROVIDED PARKING = 842 SPACES
- FULL BUILDOUT (200 BED HOSPITAL) \* (2 SPACE/BED) = 400 SPACES  
(200,000 SF MEDICAL OFFICE) / (1 SPACE/250 SF) = 800 SPACES  
TOTAL REQUIRED PARKING = 1,200 SPACES
- PROVIDED PARKING = 1,345 SPACES
- \*\*\* ADDITIONAL SPACES ARE REQUIRED FOR EMERGENCY VEHICLES PROVIDED = 7 SPACES FOR AMBULANCE AND EMERGENCY VEHICLES AND 4 FOR POLICE VEHICLES.
16. HANDICAP PARKING SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE (FAC) F.S. 316.1955 AND 316.1956. SECTION 208.2 OUTLINES THE TOTAL REQUIRED HANDICAP PARKING SPACES ON TABLE 208.2. HOSPITAL OUTPATIENT FACILITIES, MEDICAL OFFICE ATTACHED TO A HOSPITAL, ARE REQUIRED TO PROVIDE ADDITIONAL SPACES. THESE FACILITIES SHALL PROVIDE TEN (10) PERCENT OF THE TOTAL REQUIRED PARKING TO BE HANDICAP PARKING SPACES.
- PHASE 1 HOSPITAL: (160 SPACES) 6 SPACES  
MEDICAL OFFICE: (7320 SPACES)/(100%) 32 SPACES  
TOTAL REQUIRED: 38 SPACES
- PROVIDED: 59 SPACES
- FULL BUILDOUT HOSPITAL: (400 SPACES) 8 SPACES  
MEDICAL OFFICE: (7800 SPACES)/(100%) 38 SPACES  
TOTAL REQUIRED: 48 SPACES
- PROVIDED: 91 SPACES
17. OFF-STREET LOADING SPACES WILL BE SHARED BETWEEN THE HOSPITAL AND MEDICAL OFFICE BUILDINGS. A MINIMUM OF FOUR (4) LOADING SPACES WILL BE PROVIDED.
18. REQUIRED OPEN SPACE PER ARTICLE II SECTION 2.02.01-GENERAL OF THE CITY OF APOPKA LDC, IS A MINIMUM OF 30% LAND AREA.
- MINIMUM REQUIRED OPEN SPACES: 10.11 AC (30%)  
PHASE 1 OPEN SPACE PROVIDED: 17.50 AC (33.9%)  
FULL BUILD OUT OPEN SPACE PROVIDED: 12.09 AC (35.9%)
19. MAXIMUM ALLOWABLE IMPERVIOUS SURFACE RATIO IS 70% PER CITY OF APOPKA LDC.
20. PROJECTED UTILITY CONSUMPTION/IMPACTS AND REQUIRED FIRE FLOW
- PHASE 1:
- POTABLE WATER DAILY CONSUMPTION = 32,680 GPD (23 GPM)  
REQUIRED FIRE FLOW = 3,900 GPM  
RECLAIMED WATER DAILY CONSUMPTION = 137,330 GPD (95 GPM) OVER 2 DAYS/WEK  
WASTEWATER DAILY GENERATION = 28,000 GPD (19 GPM)  
REFUSE DAILY GENERATION = 576 LBS/DAY
- PHASE 2 (FULL BUILD-OUT):
- POTABLE WATER DAILY CONSUMPTION = 81,690 GPD (57 GPM)  
REQUIRED FIRE FLOW = 3,900 GPM  
RECLAIMED WATER DAILY CONSUMPTION = 137,330 GPD (95 GPM) OVER 2 DAYS/WEK  
WASTEWATER DAILY GENERATION = 70,000 GPD (49 GPM)  
REFUSE DAILY GENERATION = 1,440 LBS/DAY

UTILITY PROVIDERS

CITY OF APOPKA  
WATER, WASTEWATER & RECLAIM  
PUBLIC SERVICES DEPARTMENT  
748 EAST CLEVELAND STREET  
APOPKA, FL 32703  
PH: 407.703.1731

DUKE ENERGY  
ELECTRICAL DIVISION  
452 EAST CROWN POINT ROAD  
WINTER GARDEN, FL 32787  
PH: 407.905.3302  
FAX: 407.905.3365

CENTURYLINK FLORIDA, INC.  
TELECOMMUNICATIONS  
33 NORTH MAIN STREET  
WINTER GARDEN, FL 34787  
PH: 407.814.5351  
FAX: 407.814.5320

BRIGHT HOUSE NETWORKS  
CABLE TV  
65 SOUTH KELLER ROAD  
ORLANDO, FL 32810  
PH: 407.215.5505  
FAX: 407.215.5758

LAKE APOPKA NATURAL GAS  
NATURAL GAS  
1320 WINTER GARDEN VINELAND  
ROAD  
WINTER GARDEN, FL 34787  
PH: 407.656.2734  
FAX: 407.410.7024

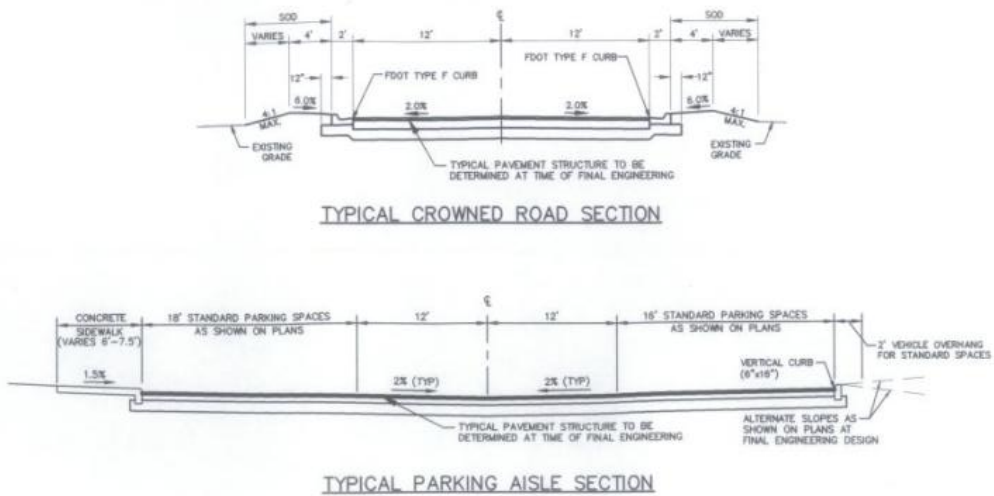
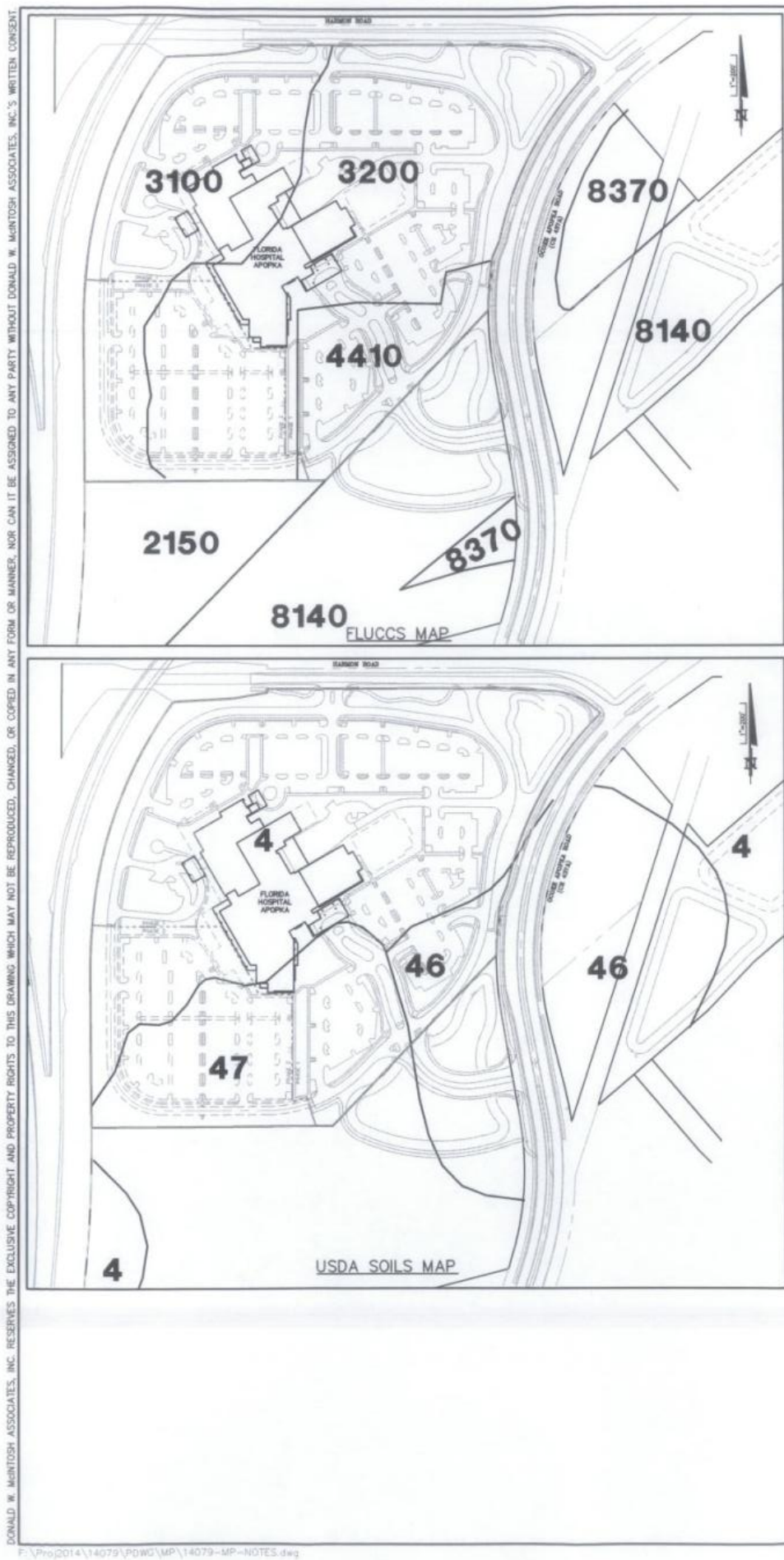
NOTES

1. ALL CONSTRUCTION DETAILS ARE CONCEPTUAL AND SUBJECT TO REVIEW AND MODIFICATION DURING FINAL DEVELOPMENT PLANS APPROVAL PROCESS.
2. FINAL DEVELOPMENT PLANS AT A MINIMUM SHALL ADDRESS THE INFORMATION REQUIRED UNDER SECTION 12.2.04 OF THE CITY OF APOPKA LAND DEVELOPMENT CODE (LDC).
3. ALL PROPOSED DEVELOPMENT IMPROVEMENTS SHALL CONFORM TO THE APPROVED PUD, THE CITY OF APOPKA LAND DEVELOPMENT CODE (LDC), ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SURROUND) AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) REQUIREMENTS.
4. THE MAIN ENTRANCE DRIVE CONNECTING TO OCOEE APOPKA ROAD WILL BE PROVIDED FOR OFFSITE THROUGH A DEVELOPER'S AGREEMENT WITH THE ADJACENT PROPERTY.
5. THE DESIGN AND CONSTRUCTION OF STORMWATER MANAGEMENT SYSTEMS, WATER AND SEWER SYSTEMS, UTILITIES AND EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF APOPKA CONSTRUCTION DESIGN STANDARDS MANUAL.
6. ONSITE UTILITIES ARE SHOWN AS CONCEPTUAL ONLY. FINAL PLACEMENT WILL BE DETERMINED DURING THE FINAL DEVELOPMENT PLAN PROCESS. ALL ONSITE UTILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.
7. ALL PROPOSED UTILITIES (ELECTRICAL, CABLE TV, GAS, TELEPHONE, ETC.) SHALL BE INSTALLED UNDERGROUND. APPURTENANCES TO THESE SYSTEMS THAT ARE REQUIRED TO BE ABOVE GROUND SHALL BE EFFECTIVELY SCREENED.
8. SANITARY WASTE SERVICES WILL BE PROVIDED BY THE CITY OF APOPKA. DURING PHASE 1 A PRIVATE SANITARY LIFT STATION WILL BE INSTALLED WITH FORCE MAIN FLOWING SOUTH TO THE INTERSECTION OF OCOEE APOPKA ROAD AND WEST KEENE ROAD, CONNECTING TO AN EXISTING CITY FORCE MAIN. THE FORCE MAIN WILL BE DEDICATED TO OWNED AND MAINTAINED BY THE CITY OF APOPKA. GREASE INTERCEPTOR WILL BE PROVIDED FOR THE RESTAURANT/CAFETERIA OPERATIONS. INTERCEPTOR DESIGN AND DETAILS WILL BE PROVIDED DURING FINAL DEVELOPMENT PLAN PROCESS.
9. STORM WATER MANAGEMENT FACILITIES WILL BE PROVIDED FOR OFFSITE THROUGH A DEVELOPER'S AGREEMENT WITH ADJACENT PROPERTIES.
10. THIS SITE IS LOCATED IN ZONE X FLOOD HAZARD ZONE, OUTSIDE OF THE 100 YEAR FLOODPLAIN PER FEMA/FIRM MAP, ORANGE COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 12095C 0120F, REVISED SEPTEMBER 25, 2009. NEAREST FLOOD PLAIN ELEVATION SET BY FEMA IS IN ZONE AE, ELEVATION 70.1 MSL FOR LAKE RUTHERFORD.
11. PER USDA SOIL CONSERVATION SERVICE CLASSIFICATION SYSTEM SOIL SURVEY MAPS THE ONSITE SOILS ARE AS FOLLOWS (SEE MAP TO LEFT):  
4 - CANKLER FINE SAND, 0-5% SLOPES  
46 - TAVARES-FINE SAND, 0-5% SLOPES  
47 - TAVARES-MULLHOPPER FINE SAND, 0-5% SLOPES
12. PER THE FLORIDA LAND USE, COVER, AND FORMS CLASSIFICATION SYSTEM (FLUCCS) THE ONSITE HABITAT AREAS ARE (SEE MAP TO LEFT):  
FLUCCS 2150 - FIELDS CROPS  
FLUCCS 3100 - HERBACEOUS RANGELAND  
FLUCCS 3200 - SHRUB AND BRUSHLAND  
FLUCCS 4410 - CONIFEROUS PLANTATIONS  
FLUCCS 8140 - ROADS AND HIGHWAYS  
FLUCCS 8370 - SURFACE WATER COLLECTION BASIN
13. NO EXISTING JURISDICTIONAL WETLANDS OR OTHER POTENTIAL ENVIRONMENTAL CONDITIONS WERE OBSERVED ONSITE, PER THE ECOLOGICAL ASSESSMENT REPORT PREPARED BY GEIUS ECOLOGICAL & ENVIRONMENTAL GROUP, LLC, DATED JUNE 2013, PROJECT NO. 013.1010.00.
14. EROSION AND SEDIMENTATION CONTROLS SHALL BE IMPLEMENTED DURING CONSTRUCTION AND SHALL COMPLY WITH ALL CITY, STATE, FEDERAL REQUIREMENTS.
15. NO EXISTING HISTORICAL STRUCTURES OR OTHER CULTURALLY SIGNIFICANT ARTIFACTS WERE OBSERVED ONSITE, PER THE ECOLOGICAL ASSESSMENT REPORT PREPARED BY GEIUS ECOLOGICAL & ENVIRONMENTAL GROUP, LLC, DATED JUNE 2013, PROJECT NO. 013.1010.00.
16. PROJECT LANDSCAPING WILL MEET STANDARDS SET FORTH IN ARTICLE V, ARTICLE II SECTION 2.02.01.7, 2.02.01.8, 2.02.01.9, 2.02.01.10, 2.02.01.11, 2.02.01.12, 2.02.01.13, 2.02.01.14, 2.02.01.15, 2.02.01.16, 2.02.01.17, 2.02.01.18, 2.02.01.19, 2.02.01.20, 2.02.01.21, 2.02.01.22, 2.02.01.23, 2.02.01.24, 2.02.01.25, 2.02.01.26, 2.02.01.27, 2.02.01.28, 2.02.01.29, 2.02.01.30, 2.02.01.31, 2.02.01.32, 2.02.01.33, 2.02.01.34, 2.02.01.35, 2.02.01.36, 2.02.01.37, 2.02.01.38, 2.02.01.39, 2.02.01.40, 2.02.01.41, 2.02.01.42, 2.02.01.43, 2.02.01.44, 2.02.01.45, 2.02.01.46, 2.02.01.47, 2.02.01.48, 2.02.01.49, 2.02.01.50, 2.02.01.51, 2.02.01.52, 2.02.01.53, 2.02.01.54, 2.02.01.55, 2.02.01.56, 2.02.01.57, 2.02.01.58, 2.02.01.59, 2.02.01.60, 2.02.01.61, 2.02.01.62, 2.02.01.63, 2.02.01.64, 2.02.01.65, 2.02.01.66, 2.02.01.67, 2.02.01.68, 2.02.01.69, 2.02.01.70, 2.02.01.71, 2.02.01.72, 2.02.01.73, 2.02.01.74, 2.02.01.75, 2.02.01.76, 2.02.01.77, 2.02.01.78, 2.02.01.79, 2.02.01.80, 2.02.01.81, 2.02.01.82, 2.02.01.83, 2.02.01.84, 2.02.01.85, 2.02.01.86, 2.02.01.87, 2.02.01.88, 2.02.01.89, 2.02.01.90, 2.02.01.91, 2.02.01.92, 2.02.01.93, 2.02.01.94, 2.02.01.95, 2.02.01.96, 2.02.01.97, 2.02.01.98, 2.02.01.99, 2.02.01.100.
17. PROJECT LIGHTING WILL MEET STANDARDS SET FORTH IN THE CITY OF APOPKA LAND DEVELOPMENT CODE (LDC) AND THE CITY'S DEVELOPMENT DESIGN GUIDELINES, UNLESS OTHERWISE APPROVED BY THE CITY OR THE MASTER SIGN PLAN. PHOTOMETRIC PLANS SHALL BE PROVIDED AS PART OF THE FINAL DEVELOPMENT PLAN PROCESS. ALL LIGHT POLES (PARKING AND PEDESTRIAN) SHALL BE DECORATIVE IN STYLE WITH BASE FLUSH WITH GROUND (NO BOLLARD MOUNTED LIGHTS). PEDESTRIAN SCALED LIGHTING SHALL BE PROVIDED ALONG ALL SIDEWALKS LEADING TO THE BUILDING AND ALONG THE CONCRETE SHARED PATHS.
18. PROJECT SIGNAGE WILL BE PROVIDED THROUGH A MASTER SIGN PLAN. MASTER SITE SIGNAGE PLANS SHALL BE PROVIDED AT TIME OF THE FINAL DEVELOPMENT PLAN PROCESS.
19. INTERNAL SIDEWALKS HAVE BEEN PROVIDED FOR PEDESTRIAN AND BICYCLE ACCESS FROM THE EXISTING CONCRETE SIDEWALK ON OCOEE APOPKA ROAD, AS WELL AS FOR ACCESS TO HARMON ROAD RIGHT-OF-WAY. BICYCLE PARKING RACKS WILL BE PROVIDED AT A MINIMUM OF ONE (1) SPACE PER 100 CAR PARKING SPACES. LOCATION AND SIZES TO BE DETERMINED DURING FINAL DEVELOPMENT PLAN PROCESS.
20. A TRASH COMPACTOR SHALL BE PROVIDED FOR REFUSE. REFUSE WILL BE COLLECTED BY LOCAL APPROVED FRANCHISE ON A WEEKLY BASIS.
21. FIRE RESCUE WILL BE PROVIDED BY THE CITY OF APOPKA FIRE DEPARTMENT. THE FIRE DEPARTMENT IS APPROXIMATELY 2.5 MILES NORTHEAST OF THE DEVELOPMENT, LOCATED ON SOUTH PARK AVENUE. ONSITE FIRE PROTECTION WILL BE PROVIDED WITH A LOOPED WATER DISTRIBUTION SYSTEM WITH FIRE HYDRANTS, FDC's AND THE BUILDING WILL HAVE AN APPROVED AUTOMATIC FIRE SPRINKLER AND ALARM SYSTEM. FIRE PROTECTION SERVICES WILL BE IN COMPLIANCE WITH THE ADOPTED CITY OF APOPKA FIRE DEPARTMENT STANDARDS AND REQUIREMENTS.
22. NO OUTSIDE STORAGE OF PARTS, SUPPLIES, MATERIALS, GOODS OR EQUIPMENT SHALL BE ALLOWED, UNLESS FULL SCREENED FROM VIEW.
23. ALL ROOF TOP EQUIPMENT SHALL BE COMPLETELY SCREENED FROM ADJACENT PROPERTY AND PUBLIC RIGHT-OF-WAYS.
24. IF A FINAL DEVELOPMENT PLAN ASSOCIATED WITH THE PUD HAS NOT BEEN APPROVED BY THE CITY WITHIN THREE (3) YEARS AFTER APPROVAL OF THE MASTER PLAN FOR THE PUD, THE APPROVAL OF THE PUD MASTER PLAN WILL EXPIRE.
25. SCHOOLS: THIS IS A COMMERCIAL DEVELOPMENT, NO RESIDENTIAL USES ARE PROPOSED. PUBLIC SCHOOL CAPACITY IS NOT REQUIRED.
26. PARKS & RECREATION: THIS IS A COMMERCIAL DEVELOPMENT, NO PARKS REQUIRED.
27. PER THE TRANSPORTATION IMPACT ASSESSMENT REPORT PREPARED BY LUKE TRANSPORTATION ENGINEERING CONSULTANTS, DATED JULY 24, 2013, REPORT NO: 13-0106, THE PROPOSED LAND USE WILL GENERATE 10,052 DAILY VEHICLE TRIPS ENDS, 742 AM PEAK HOUR VEHICLE TRIP ENDS AND 528 PM PEAK HOUR VEHICLE TRIP ENDS. TRAFFIC GENERATION WAS CALCULATED UTILIZING THE 9TH EDITION ITE TRIP GENERATION REPORT, 2012.
28. ADJACENT LAND OWNED BY ADVENTIST HEALTH SYSTEM MAY BE ADDED TO THIS PUD IN THE FUTURE THROUGH A SEPARATE AMENDMENT TO THE PUD.
29. ALL INTERNAL ROADS AND SIDEWALKS WILL BE PRIVATELY OWNED AND MAINTAINED.
30. LYNX SHELTER LOCATION SHOWN FOR INFORMATION ONLY, CONSTRUCTION TIMING OF SHELTER WILL BE COORDINATED WITH LYNX.

NOT FOR CONSTRUCTION	
DONALD W. MCINTOSH ASSOCIATES, INC. PLANNERS SURVEYORS ENGINEERS	
2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.844.4088	
DRAWING 14079-MP-NOTES	
SHEET 2 OF 9	
DATE: 10/23/14	
REVISIONS:	
1. 10/23/14 REVISED PER CITY COMMENTS AT 10/17/14 DRC	
2. 10/23/14 REVISED PER CITY COMMENTS	
3. 10/23/14 REVISED PER CITY COMMENTS	
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MASTER PLAN  
FLORIDA HOSPITAL APOPKA  
REPLACEMENT CAMPUS  
CITY OF APOPKA, FLORIDA  
DEVELOPMENT STANDARDS, SITE DATA  
AND NOTES





LEGEND		
EXISTING	ITEM	PROPOSED
	DRAINAGE LINE, SIZE AND CALL-OUT	
	CURB INLETS	
	DITCH BOTTOM INLET, YARD INLET, DRAINAGE MANHOLE, CONTROL STRUCTURE AND MITERED END SECTION	
	U-TYPE ENDWALL	
	STRAIGHT ENDWALL	
	WINGED ENDWALL	
	FLARED END SECTION	
	SURFACE DRAINAGE DIRECTION	
	SWALE	
	CONTOUR ELEVATION	
	GRADING ELEVATION, HIGH POINT (HP) OR LOW POINT (LP)	
	SLOPE (HORIZ. VERT)	
	FENCE LINE W/ GATE	
	WATER LINE, VALVE, HYDRANT ASSEMBLY, REDUCER AND BLOW-OFF	
	WATER METER AND MASTER METER ASSEMBLY	
	FIRE PROTECTION WATER LINE & SIZE AND POST INDICATOR VALVE	
	FIRE PROTECTION POINT OF SERVICE	
	FIRE DEPARTMENT CONNECTION	
	RECLAIMED WATER LINE, SIZE, VALVE, REDUCER AND BLOW-OFF	
	RECLAIMED WATER LINE & PLUG	
	SANITARY SEWER LINE, SIZE AND CALL-OUT	
	SANITARY SEWER MANHOLE, SINGLE SERVICE LATERAL WITH CLEAN-OUT, DOUBLE SERVICE LATERAL, DUCTILE IRON PIPE & SIZE AND PLUG	
	BUILDING SETBACK LINE	
	PHASE LINE	
	EDGE OF PAVEMENT RADIUS DIMENSION	
	NUMBER OF PARKING SPACES	
	HANDICAP PARKING SPACE W/ SIGN	
	TRAFFIC CONTROL SIGN	
	PAINTED WHITE DIRECTIONAL ARROWS	
	12" WHITE CROSSWALK (F.D.O.T. INDEX 17346) WITH 2' STOP BAR	
	CONCRETE SIDEWALKS AND CURB RAMPS	
	CONCRETE PAVEMENT	
	DECORATIVE PAVEMENT FEATURE	

MASTER PLAN

FLORIDA HOSPITAL APOPKA REPLACEMENT CAMPUS CITY OF APOPKA, FLORIDA

MAPS, LEGEND AND SECTIONS

DRAWING 14079-MP-NOTES

SHEET 3 OF 9

NOT FOR CONSTRUCTION

DONALD W. MCINTOSH ASSOCIATES, INC. ENGINEERS PLANNERS SURVEYORS 2800 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.844.4068

JOHN T. TOWNSEND FLORIDA P.E. No. 52127

DATE: \_\_\_\_\_

NO. \_\_\_\_\_ DATE \_\_\_\_\_

REVISIONS

CHK. \_\_\_\_\_

DESIGNED BY MAB

CHECKED BY JTT

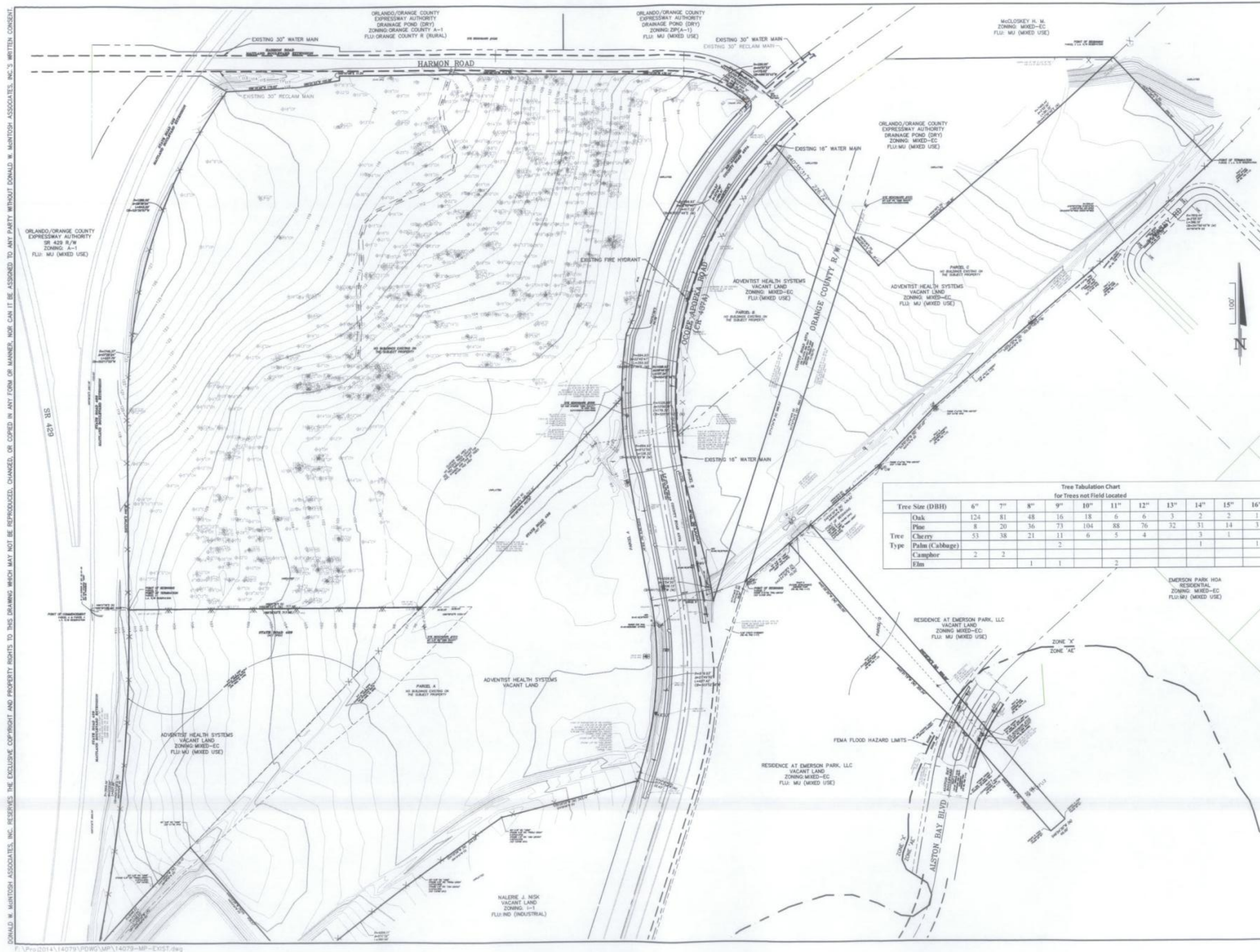
DATE 8/20/14

SCALE NTS

ASB NUMBER 14079

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Tree Size (DBH)		6"	7"	8"	9"	10"	11"	12"	13"	14"	15"	16"	17"
Tree Type	Oak	124	81	48	16	18	6	6	3	2	2	1	
	Pine	8	20	36	73	104	88	76	32	31	14	3	4
	Cherry	53	38	21	11	6	5	4		3	1		
	Palm (Cabbage)				2					1		1	
	Camphor	2	2										
	Elm			1	1		2						

MASTER PLAN  
FLORIDA HOSPITAL APOPKA  
REPLACEMENT CAMPUS  
CITY OF APOPKA, FLORIDA  
EXISTING CONDITIONS PLAN

**DONALD W. MCINTOSH ASSOCIATES, INC.**  
ENGINEERS PLANNERS SURVEYORS  
2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.844.4088

NOT FOR CONSTRUCTION

JOHN T. TOWNSEND  
FLORIDA P.E. No. 52127

DATE	SCALE	JOB NUMBER
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LOCKED BY

SIGNED BY

DRAWN BY

CITY OF APOPKA, FLORIDA  
EXISTING CONDITIONS PLAN

SHEET

## EXISTING CONDITIONS FLAIN

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MASTER PLAN

FLORIDA HOSPITAL APOPKA  
REPLACEMENT CAMPUS  
CITY OF APOPKA, FLORIDA

DRAWING  
14079-MP-AERIAL

FLORIDA HOSPITAL APOPKA  
REPLACEMENT CAMPUS  
CITY OF APOPKA, FLORIDA

AERIAL

SHEET  
5 of 9

NOT FOR CONSTRUCTION

DONALD W. MCINTOSH ASSOCIATES, INC.  
ENGINEERS  
2800 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.844.4088

PLANNERS  
SURVEYORS

DATE  
8/20/14

CHECKED BY  
JTT

DESIGNED BY  
MAB

DRAWN BY  
MAB

JOHN T. TOWNSEND  
FLORIDA P.E. No. 52127

DATE

NO

DATE

REVISED PER CITY COMMENTS

REVISIONS

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9/26/14

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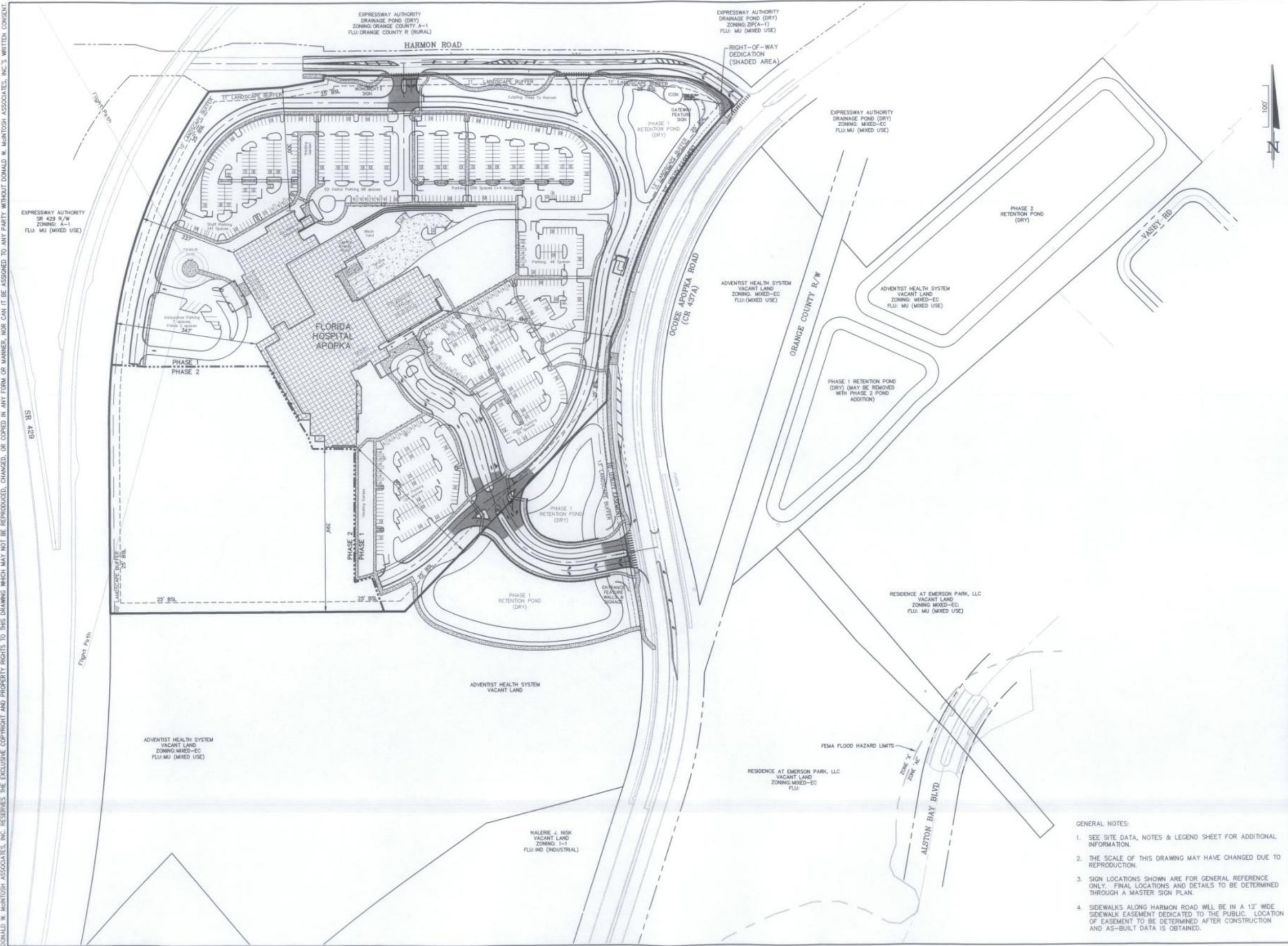
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GENERAL NOTES:

1. SEE SITE DATA, NOTES & LEGEND SHEET FOR ADDITIONAL INFORMATION.
2. THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.
3. SIGN LOCATIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. FINAL LOCATIONS AND DETAILS TO BE DETERMINED THROUGH A MASTER SIGN PLAN.

Page 19





MASTER PLAN

FLORIDA HOSPITAL APOPKA  
REPLACEMENT CAMPUS  
CITY OF APOPKA, FLORIDA

MASTER PLAN - PHASE 1

DRAWING  
14079-MP-MSP

SHEET  
6 OF 9

NOT FOR CONSTRUCTION

DONALD W. MCINTOSH  
ENGINEERS  
PLANNERS  
SURVEYORS  
2800 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4088

JOHN T. TOWNSEND  
FLORIDA P.E. No. 52127

DESIGNED BY  
MAB

CHECKED BY  
MAB

DATE  
8/20/14

SCALE  
1"=100'

JOB NUMBER  
14079

NO.

DATE

REVISED PER CITY COMMENTS

REVISIONS

JTT

CHK

1

9/25/14

DATE

REVISED PER CITY COMMENTS

REVISIONS

JTT

CHK

GENERAL NOTES:

1. SEE SITE DATA, NOTES & LEGEND SHEET FOR ADDITIONAL INFORMATION.

2. THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.

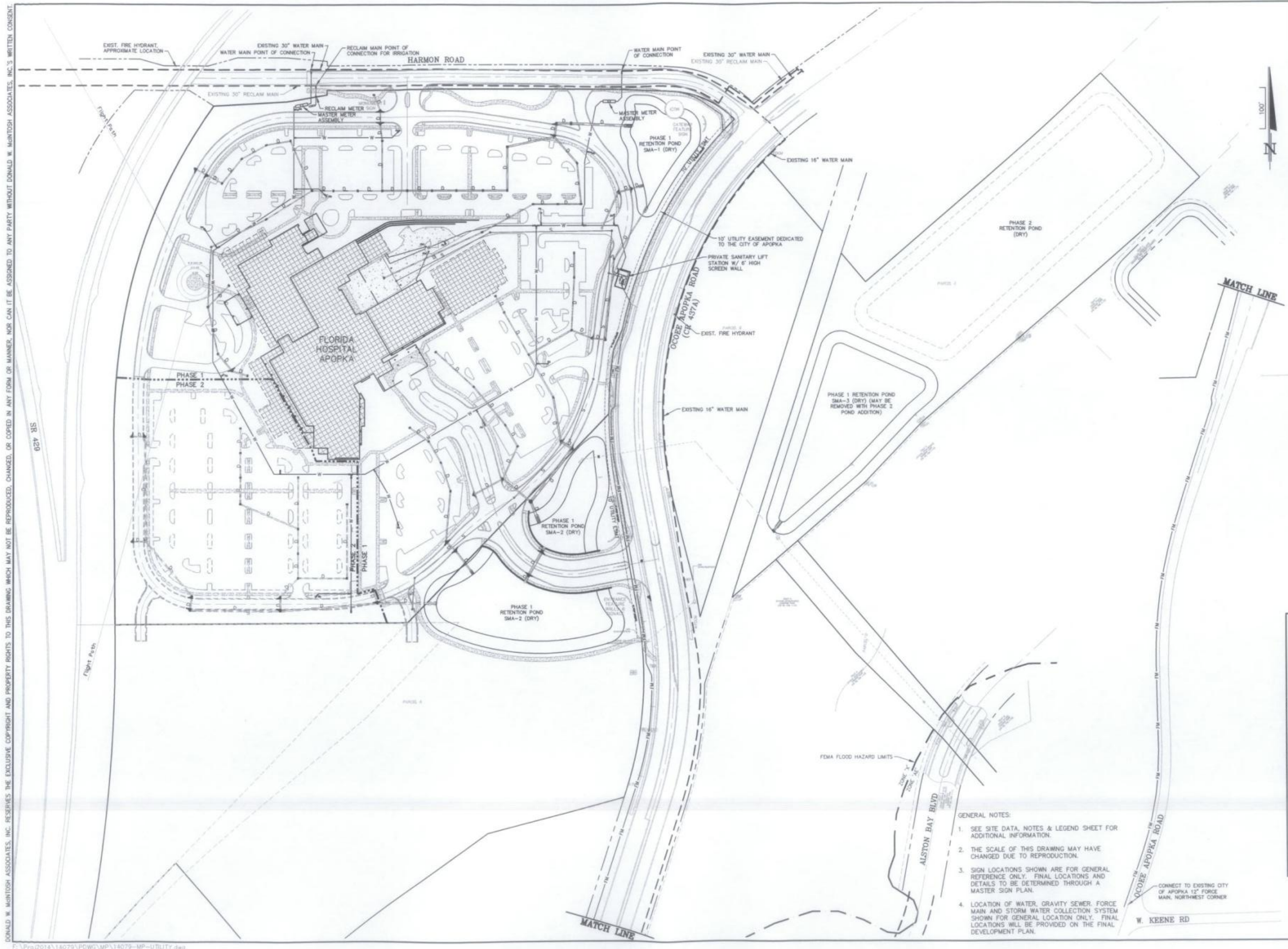
3. SIGN LOCATIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. FINAL LOCATIONS AND DETAILS TO BE DETERMINED THROUGH A MASTER SIGN PLAN.

4. SIDEWALKS ALONG HARMON ROAD WILL BE IN A 12' WIDE SIDEWALK EASEMENT DEDICATED TO THE PUBLIC. LOCATION OF EASEMENT TO BE DETERMINED AFTER CONSTRUCTION AND AS-BUILT DATA IS OBTAINED.



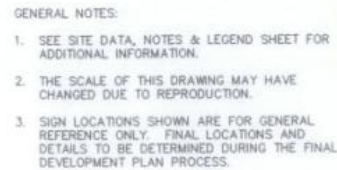






DRAWING 14079-MP-UTILITY	MASTER PLAN		 <b>DONALD W. MCINTOSH ASSOCIATES, INC.</b> ENGINEERS SURVEYORS 2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068		NOT FOR CONSTRUCTION DONALD W. MCINTOSH ASSOCIATES, INC. 10075 STATE ROAD 10 AUSTIN, TEXAS 78748 AUTHORIZATION NO. 68	
	FLORIDA HOSPITAL AOPKA REPLACEMENT CAMPUS CITY OF AOPKA, FLORIDA		JOB NUMBER 14079		DATE 8/20/14	
SHEET 8 OF 9	UTILITY PLAN		SCALE 1"=100'		CHECKED BY JTT	
			DESIGNED BY MAB		REVISIONS NO. DATE DESCRIPTION	





DRAWING 14079-MP-TRUCK	MASTER PLAN		FLORIDA HOSPITAL APOPKA REPLACEMENT CAMPUS CITY OF APOPKA, FLORIDA COMMERCIAL TRUCK MANEUVERABILITY PLAN		NOT FOR CONSTRUCTION									
DONALD W. MCINTOSH ASSOCIATES, INC. ENGINEERS 2500 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4088														
DONALD W. MCINTOSH ASSOCIATES, INC. PROFESSIONAL ENGINEER'S CERTIFICATE OF AUTHORIZATION NO. 68														
JOHN T. TOWNSEND FLORIDA P.E. No. 52127														
DATE: _____														
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REVISIONS _____														
CHK _____														





**1 EAST ELEVATION**  
 SCALE: 1" = 20'-0"  
 NOTE: PREDOMINANT MATERIALS MAY INCLUDE A MIXTURE OF PRECAST CONCRETE, STUCCO, MASONRY PRODUCTS, CAST IN PLACE CONCRETE, METAL PANELS, AND A GLASS AND ALUMINUM CURTAIN WALL SYSTEM.

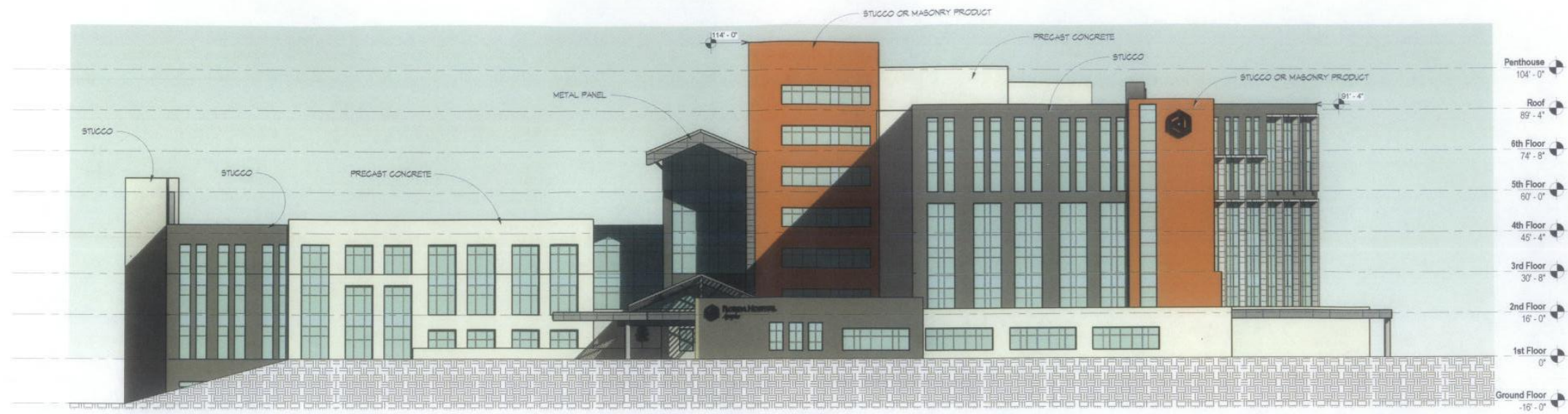


**2 WEST ELEVATION**  
 SCALE: 1" = 20'-0"  
 NOTE: PREDOMINANT MATERIALS MAY INCLUDE A MIXTURE OF PRECAST CONCRETE, STUCCO, MASONRY PRODUCTS, CAST IN PLACE CONCRETE, METAL PANELS, AND A GLASS AND ALUMINUM CURTAIN WALL SYSTEM.

**PROPOSED MATERIAL LISTING**

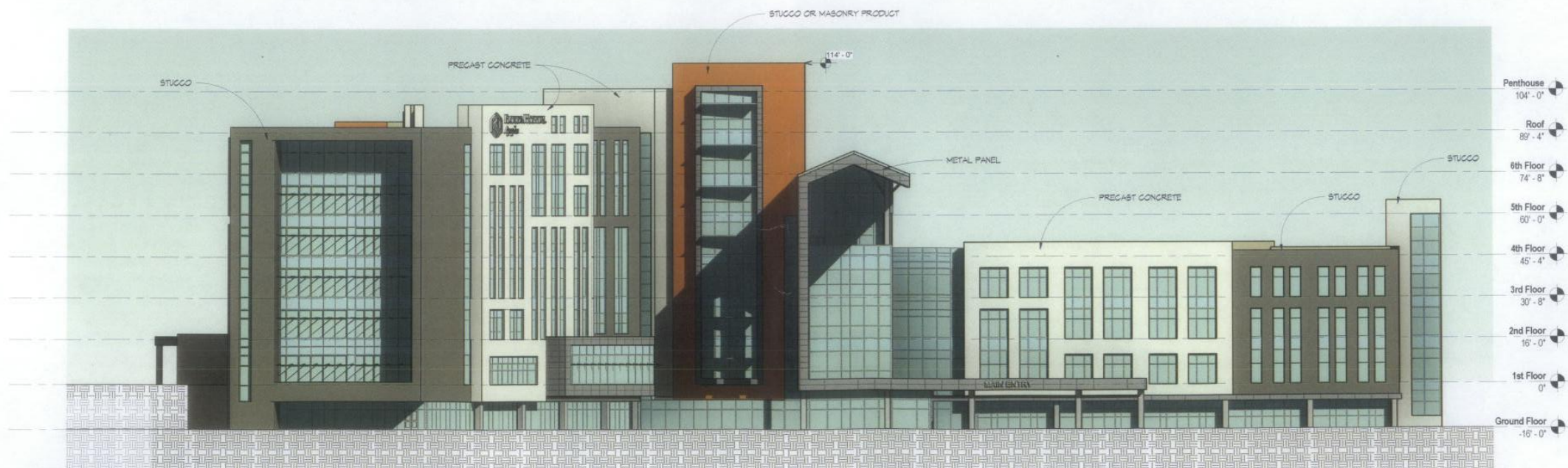
- PRECAST CONCRETE
- STUCCO
- MASONRY PRODUCT
- METAL PANEL
- CAST IN PLACE CONCRETE
- GLASS AND ALUMINUM CURTAIN WALL





**1 NORTH ELEVATION**  
SCALE: 1" = 20'-0"

NOTE: PREDOMINANT MATERIALS MAY INCLUDE A MIXTURE OF PRECAST CONCRETE, STUCCO, MASONRY PRODUCTS, CAST IN PLACE CONCRETE, METAL PANELS, AND A GLASS AND ALUMINUM CURTAIN WALL SYSTEM.



**2 SOUTH ELEVATION**  
SCALE: 1" = 20'-0"

NOTE: PREDOMINANT MATERIALS MAY INCLUDE A MIXTURE OF PRECAST CONCRETE, STUCCO, MASONRY PRODUCTS, CAST IN PLACE CONCRETE, METAL PANELS, AND A GLASS AND ALUMINUM CURTAIN WALL SYSTEM.

**PROPOSED MATERIAL LISTING**

- PRECAST CONCRETE
- STUCCO
- MASONRY PRODUCT
- METAL PANEL
- CAST IN PLACE CONCRETE
- GLASS AND ALUMINUM CURTAIN WALL

**THIS INSTRUMENT PREPARED BY  
AND SHOULD BE RETURNED TO:**

Borron J. Owen, Jr., Esquire  
Gray Robinson, P.A.  
301 E. Pine Street, Suite 1400  
Orlando, Florida 32801  
Phone: 407-843-8880

**TRANSPORTATION IMPROVEMENTS DEVELOPMENT AGREEMENT**

**THIS TRANSPORTATION IMPROVEMENTS DEVELOPMENT AGREEMENT** (the “**Agreement**”) is made this \_\_\_\_ day of \_\_\_\_\_ 2014, by and among the **CITY OF APOPKA, FLORIDA**, a Florida municipal corporation (the “**City**”) and **ADVENTIST HEALTH SYSTEM/SUNBELT, INC.**, a Florida not-for-profit corporation, (“**Florida Hospital**”).

**RECITALS:**

- A. Florida Hospital is the fee simple owner of that certain real property located in the City of Apopka, Orange County, Florida, being more particularly described in **Exhibit “A”** attached hereto and incorporated herein by this reference (the “**Subject Property**”); and
- B. This Agreement is attached as Exhibit “\_\_\_\_” to City Ordinance \_\_\_\_\_ that approves and establishes the Planned Unit Development zoning for the Subject Property, and includes the master plan (the “**Master Plan**”) approved by the City for the Subject Property (the “**PUD**”); and
- C. Florida Hospital intends to develop a hospital, with ancillary uses, and a medical health care facility, collectively consisting of up to 200 hospital beds, with ancillary uses, and up to 200,000 square feet of medical office on the Subject Property (the “**Hospital Project**”) that is depicted and described in the Master Plan; and
- D. The City has determined that the Hospital Project is a critical component of the City in that it positively affects the City in many ways, including, without limitation, through the providing of health, wellness, emergency services and economic development, and elevating the health of the community; and
- E. Coincident with the approval of the PUD, the City has also approved the Preliminary Development Plan (the “**Development Plan**”) for the initial phase of the Hospital Project (the “**Initial Phase**”) that will consist of (i) a hospital facility containing approximately 400,000 square feet, of which approximately 105,000 square feet may be shell space for development of future additional hospital beds and ancillary uses (the “**Hospital Shell Space**”), (ii) up to eighty (80) certificated hospital beds, and (iii) approximately 80,000 square feet of medical office, of which approximately 40,000 square feet may be shell space for development of future medical office (the “**Medical Office Shell Space**”); and
- F. Florida Hospital shall comply with all provisions of the PUD and the Development Plan in the development of the Hospital Project, in addition to the conditions of any other development approvals or permits issued by the City; and
- G. Development of the Hospital Project remains subject to certain approvals by the City,



including, but not limited to, final development plan approval and issuance of building permits, certificates of occupancy, certificates of completion and approvals contemplated in the PUD and in the City's Land Development Code (the "**City Code**"); and

- H. Construction of certain road improvements is needed to accommodate Florida Hospital's development of the Hospital Project, and construction of certain other road improvements are reasonably proportional to the impacts of the Hospital Project; and
- I. Florida Hospital and the City agree, as more particularly set forth herein, that Florida Hospital, or its independent contractors, shall, in the case of the site-related road improvements described in subparagraph 3a hereafter, or may, in the case of the non-site-related road improvements described in subparagraphs 3b and 3c hereafter, design (subject to City approval), permit, install and construct the road improvements described hereafter in this Agreement; and
- J. Florida Hospital voluntarily agrees with the conditions, terms and restrictions herein contained, and has voluntarily agreed to their imposition as a condition to the development of the Subject Property; and
- K. This Agreement is a non-statutory agreement that is not subject to or enacted pursuant to the provisions of Sections 163.3220 through 163.3243, Florida Statutes; and
- L. The City and Florida Hospital now desire to enter into this Agreement to memorialize certain promises, agreements, covenants and expectations pertaining to the road improvements, the development of the Hospital Project and the Subject Property, and other matters as provided for herein.
- M. Florida Hospital has cooperatively and actively participated in the City's preparation of the Ocoee Apopka Road Small Area Study (OAR SAS). Florida Hospital shall review and take into consideration recommendations and plans from the OAR SAS when proposing any amendments to the Development Plan and for any other development plans involving the Subject Property or any other parcels it owns within the OAR SAS. If the City proceeds with implementation of the OAR SAS, coordination and communication will continue to include Florida Hospital prior to any adoption of new development and zoning standards that may affect the Subject Property or other properties owned by Florida Hospital.

**NOW, THEREFORE**, for and in consideration of the above premises, the promises and provisions contained herein, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged and agreed, Florida Hospital and the City agree as follows:

1. **Recitals.** The above Recitals are true and correct and are incorporated herein as material provisions of this Agreement.

2. **City Approvals; Shell Space; Development after Initial Phase.** In addition to the requirements and obligations of Florida Hospital herein, the development of the Subject Property and the Hospital Project are subject to the PUD, the Master Plan, the Development Plan, City Code requirements, and other approvals and permits for the Hospital Project and Subject Property. The City acknowledges that the City has reserved sufficient traffic capacity for the entire Hospital Project, provided Florida Hospital constructs the site-related road improvements during the Initial Phase as described in

subparagraph 3a hereafter. Build out of the Hospital Shell Space and the Medical Office Shell Space will occur when Florida Hospital applies to the City for a building permit or permits requesting development of the same in accordance with the City's process and procedures. Further development of the Hospital Project after the Initial Phase will occur in one (1) or more additional phases by Florida Hospital applying to the City for review and approval of a development plan and a building permit or permits for each subsequent phase, as provided in the City Code.

3. **Road Improvements.** No part of this Agreement obligates the City to construct or fund any road improvement described herein. As part of Florida Hospital's construction of the Hospital Project, Florida Hospital, at its sole cost and expense, shall, in the case of the site-related road improvements described in subparagraph 3a hereafter, or may, in the case of the non-site-related road improvements described in subparagraphs 3b and 3c hereafter, design (subject to City approval), permit, install, and construct the following road improvements:

a. The following road improvements (i) will be required as part of the Initial Phase as the only required and necessary site-related improvements for the entire Hospital Project, (ii) are conceptually depicted in Exhibit "B" attached hereto and incorporated herein by this reference, (iii) are not eligible for transportation impact fee credits, and (iv) are subject to the City's approval of the design:

(1) Improve Harmon Road to twenty-four (24) foot cross-section with four (4) foot paved shoulders between Binion Road and S.R. 429 limited access right-of-way consistent with the existing section for Harmon Road under the S.R. 429 overpass (+/- 900 linear feet, estimated cost \$90,000.00).

(2) Improve Harmon Road to thirty-three (33) foot cross-section (two-lane road designed to "urban" standards, with a continuous turn lane each eleven (11) feet) from the east edge of the limited access right-of-way of S.R. 429 to Ocoee-Apopka Road (+/-1,100 linear feet, estimated cost \$250,000.00).

(3) Extend existing auxiliary southbound right turn lane (designed to "urban" standards) on Ocoee-Apopka Road at the Florida Hospital Main Entrance, as depicted in the Master Plan (estimated cost \$90,000.00).

(4) Add auxiliary northbound left turn lane (designed to "urban" standards) on Ocoee-Apopka Road at the Florida Hospital Main Entrance depicted in the Master Plan (estimated cost \$90,000.00).

(5) If approved by the City and a warrant is not required by Orange County, as applicable, install a strain pole traffic signal at the intersection of Ocoee-Apopka Road and Keene Road based on the current traffic lane configuration (estimated cost \$100,000.00).

(6) Provide a transit shelter and bus turnout bay pursuant to the standards of LYNX at the time LYNX provides a bus route to the Hospital Project. Relative to the design of the transit shelter, Florida Hospital shall select one (1) of LYNX's pre-designed transit shelters that is architecturally compatible with the Hospital Project, subject to the City's approval of the design. Florida Hospital shall be responsible for the maintenance of the transit shelter.



(7) Provide an eleven (11) foot wide multi-use trail along Florida Hospital's property frontage on Harmon Road, as depicted in the Master Plan (+/-1,100 linear feet, estimated cost \$31,000.00).

(8) Provide an eleven (11) foot wide multi-use trail along Florida Hospital's property frontage on Ocoee-Apopka Road from Harmon Road south to +/-190 feet south of the main entrance to the Hospital Project, as depicted in the Master Plan (+/-1,300 linear feet, estimated cost \$36,000.00).

b. The following non-site-related road improvements and road design (i) are not required for the Hospital Project, but any one (1) or more of them may be undertaken by Florida Hospital as part of the Initial Phase (subject to the City's approval of design, estimated construction costs and proportionate share in accordance with a construction schedule provided by Florida Hospital to the City, provided that the City and Florida Hospital shall agree, no later than final approval by City Council of the final Development Plan, upon which of these road improvements will be undertaken by Florida Hospital), (ii) are conceptually depicted in **Exhibit "C"** attached hereto and incorporated herein by this reference, and (iii) are listed below in order of priority from the highest to the lowest priority (references to estimated cost and proportionate share are estimates only and are subject to the City's review and approval):

(1) Construct a two-lane roundabout (designed to "urban" standards, subject to the City's approval of design) at the intersection of Harmon Road and Ocoee-Apopka Road (estimated cost \$750,000.00, estimated proportionate share (fair share percentage) of Florida Hospital – 11%). Florida Hospital shall be responsible for maintaining any and all landscaping, hardscaping and irrigation installed by Florida Hospital as part of the construction of the roundabout, unless such maintenance is assumed by the City or some other entity pursuant to a separate agreement with Florida Hospital. Relative to landscaping only, Florida Hospital shall be entitled to transportation impact fee credits for the value of landscaping that the City would typically install in a public right-of-way of this size and configuration. Nothing herein precludes the City from placing a gateway sign within the roundabout. No signage, structures, art, or fixtures shall be placed within the roundabout without the consent of the City.

(2) In the event the roundabout described in subparagraph (1) above is determined by the City, after consultation with Florida Hospital, to not be feasible or practicable, install & construct a mast arm signalization, with upgraded pavement treatments (pavers, decorative concrete, etc.), landscaping, hardscaping and irrigation, (designed to "urban" standards, subject to the City's approval of design) at the intersection of Harmon Road and Ocoee-Apopka Road (estimated cost \$500,000.00, estimated proportionate share (fair share percentage) of Florida Hospital – 11%). Florida Hospital shall be responsible for maintaining any and all landscaping, hardscaping and irrigation installed by Florida Hospital as part of the construction of the intersection, unless such maintenance is assumed by the City or some other entity pursuant to a separate agreement with Florida Hospital.

(3) Provided the City takes over the jurisdiction of Ocoee-Apopka Road from Orange County, provide to the City "private developer formatted" construction drawings, in accordance with City standards, of the design of the road improvements (designed to "urban" standards, subject to the City's approval of design) to widen Ocoee-Apopka Road from two lanes to four lanes (divided) from Emerson Park on the north to the S.R. 429

Interchange on the south (estimated cost \$275,000.00, estimated proportionate share (fair share percentage) of Florida Hospital – 11%).

(4) Subject to ability to obtain permits, add five (5) foot wide paved shoulders to Ocoee-Apopka Road in the vicinity of Keene Road from Emerson Park entrance on the north to the S.R. 429 interchange on the south where shoulders do not already exist (+/-2,250 linear feet) (estimated cost \$350,000.00, estimated proportionate share (fair share percentage) of Florida Hospital – 11%).

(5) Install a mast arm traffic signal at the intersection of Ocoee-Apopka Road and Boy Scout Road (estimated cost \$300,000.00, estimated proportionate share (fair share percentage) of Florida Hospital – 15.0%).

c. Additional non-site-related road improvements are not required for the Hospital Project, but may be undertaken by Florida Hospital as part of subsequent development phases after the Initial Phase, provided that during the approval of the preliminary development plan and the final development plan for each such subsequent phase, such improvements are identified by Florida Hospital, approved by the City, and the design, estimated construction costs and Florida Hospital's proportionate share thereof agreed to by the City, and this Agreement modified and amended to include any such additional road improvements.

d. The above road improvements shall include all signage and pavement and markings and all stormwater and other improvements and appurtenances related to and required therefore (all of the foregoing is referred to herein collectively as the "**Road Improvements**"). Unless otherwise agreed by the City, Florida Hospital shall control all aspects of the design, construction and installation of the Road Improvements, subject to right-of-way permit/use regulations and requirements of the City and other governmental agencies with jurisdiction, and Florida Hospital shall select and hire any necessary independent contractors. In connection with any of the Road Improvements for which Florida Hospital will be seeking transportation impact fee credits from the City, Florida Hospital shall competitively bid the projects for such Road Improvements in accordance with Florida Hospital's policies and procedures.

In connection with subparagraph 3a(5) above, if, as a result of the impacts of the Hospital Project within five (5) years after the issuance of the certificate of occupancy for the Initial Phase of the Hospital Project, there is sufficient demand to justify and support bus service (LYNX) to the Hospital Project, Florida Hospital shall be responsible for paying the costs, if any, of such bus service, and the City will have no obligations therefore. After such five (5) period after the issuance of the certificate of occupancy for the Initial Phase of the Hospital Project, if there is sufficient demand to justify and support bus service (LYNX) to the Hospital Project, Florida Hospital shall be responsible for paying its proportionate share of the costs, if any, of such bus service.

In connection with any of the Road Improvements constructed by Florida Hospital for the Initial Phase and each subsequent phase of the Hospital Project, Florida Hospital shall have the City Engineer inspect such Road Improvements according to an inspection schedule approved by the City at the pre-construction meeting for each such Road Improvement. Upon completion of each Road Improvement, Florida Hospital shall obtain a certificate of acceptance from the City Engineer for such Road Improvement, and as a condition precedent to receiving a certificate of completion, Florida Hospital shall execute and deliver to the City: (i) invoices for the construction costs of the Road Improvement, (ii) a one (1) year maintenance bond or irrevocable letter of credit in an amount equal to ten percent (10%) of the Road Improvement's construction costs (which includes, without limitation, the design, permitting,

installation, construction, testing and inspection related to the Road Improvement) as approved by City Engineer (the total costs for the Road Improvements is referred to herein as the (“**Road Improvements Construction Costs**”) and in a form approved by the City Attorney, (iii) the design engineer of record certification to the City that the Road Improvement has been completed in accordance with approved design plans, and (iv) a bill of sale, release of liens from contractors, subcontractors, materialmen and laborers, and assignment of contractor’s warranties, if any for the Road Improvement. No certificates of occupancy shall be issued for any part of the applicable phase of the Hospital Project until completion of the Road Improvements to be constructed by Florida Hospital for that phase, including the issuance of the certificate of completion by the City Engineer, execution and delivery of the bill of sale, and delivery of an acceptable maintenance bond or irrevocable letter of credit for such Road Improvements. The Road Improvements to be constructed by Florida Hospital for a particular phase of the Hospital Project shall be deemed completed upon Florida Hospital satisfying all of the conditions of this Section 3 (“**Road Improvements Completion**”). Upon the occurrence of Road Improvements Completion, the City will take over ownership, operation and maintenance of the portion of Road Improvements located within the City right-of-way, unless otherwise provided in this Agreement. To the extent any of the Road Improvements are to be constructed within the right-of-way of a governmental entity other than the City, Florida Hospital shall, at Florida Hospital’s sole cost and expense, obtain all approvals, permits and agreements, and satisfy all requirements and conditions necessary for, the design permitting, building, installation, construction, inspection, and testing required by such entity and satisfactory to the City; provided, however, notwithstanding the foregoing, the City agrees to assist Florida Hospital in obtaining any such approvals, permits and agreements from such other governmental entity or entities.

4. **Plan Approval.** The City shall have final approval of all plans, designs, and specifications for the Road Improvements identified in Section 3 above. Except as otherwise extended by the City, once Florida Hospital commences construction of the Road Improvements for a particular phase of the Hospital Project, such Road Improvements shall be completed no more than 540 days from the commencement of construction.

5. **Compliance with Law.** Nothing in this Agreement shall allow, or be construed to allow Florida Hospital, or its successors and assigns to avoid or delay compliance with any or all provisions of the City’s Comprehensive Plan, the City Code, City resolutions and other requirements pertaining to the use and development of the Subject Property.

6. **Indemnity.** Florida Hospital hereby indemnifies and holds the City and its elected and appointed officials, employees and agents harmless from and against any and all claims, disputes, lawsuits, injuries, damages, attorneys’ fees (including trial and appellate fees), judgments, costs and experts’ fees, interest and all adverse matters in any way arising out of or relating to Florida Hospital’s and its officers’, employees’ and agents’ negligent acts, negligent omissions, negligence, negligent misrepresentation and default under this Agreement, or any combination thereof, arising from or related to Florida Hospital’s exercise of (or failure to exercise) the rights or obligations of Florida Hospital under this Agreement and for the risk assumed by Florida Hospital under this Agreement.

7. **Validity.** If any portion of this Agreement is finally determined by a court of competent jurisdiction to be invalid, unconstitutional, unenforceable or void, the balance of the Agreement shall continue in full force and effect.

8. **Notices.** Any notices required or permitted under this Agreement, and copies thereof, shall be addressed to the City and Florida Hospital at the following addresses, or at such other addresses designated in writing by the party to receive notice:

City: City Community Development Director  
City of Apopka  
120 E. Main Street  
Apopka, FL 32704

With copy to: City Attorney  
City of Apopka  
120 E. Main Street  
Apopka, FL 32704

Florida Hospital: Jennifer Wandersleben  
Hospital Administrator  
Florida Hospital Apopka  
201 N. Park Avenue  
Apopka, FL 32703

With copies to: Jody A. Barry, CCIM, MBA  
Administrative Director  
Strategic Property Development  
Florida Hospital  
550 East Rollins Street, 7<sup>th</sup> Floor  
Orlando, FL 32803

Borron J. Owen, Jr., Esq.  
Gray Robinson, P.A.  
301 East Pine Street, Suite 1400  
Orlando, FL 32801

Notices shall be either: (i) personally delivered (including delivery by Federal Express or other overnight courier service) to the addresses set forth above, in which case they shall be deemed delivered on the date of delivery; or (ii) sent by certified mail, return receipt requested, in which case they shall be deemed delivered on the date shown on the receipt unless delivery is refused or intentionally delayed by the addressee, in which event they shall be deemed delivered on the date of deposit in the U.S. Mail.

9. **Attorney's Fees.** Except as expressly provided otherwise in this Agreement, in any lawsuit between the parties to this Agreement arising from this Agreement, each party shall bear their own respective attorneys' fees and costs.

10. **Entire Agreement.** This Agreement embodies the entire understanding of the parties with respect to the matters specifically enumerated herein, and all negotiations, representations, warranties and agreements made between the parties are merged herein. The making, execution and delivery of this Agreement by all parties have been induced by no representations, statements, warranties or agreements that are not expressed herein. There are no further or other agreements or understandings; written or oral, in effect between or among the parties related to the subject matter hereof.

11. **Interpretation.** None of the parties shall be considered the drafter of all or any portion of this Agreement for the purposes of interpreting all or any portion of this Agreement, it being recognized that all parties have contributed substantially and materially to the preparation of this Agreement.

12. **Binding Effect and Successors.** This Agreement shall run with the Subject Property and the rights and the obligations under this Agreement shall benefit, burden, and bind the successors and assigns of all parties to this Agreement. Florida Hospital shall remain responsible for the performance of its obligations under this Agreement in the event of assignment of this Agreement and/or the conveyance or transfer of the Subject Property unless Florida Hospital obtains a written release from the City; such requested release will not be unreasonably withheld if Florida Hospital is not in default of this Agreement and the City has reasonable assurance that Florida Hospital's obligations hereunder will be satisfied by the proposed assignee of this Agreement and proposed owner of the Subject Property. In the event all obligations under this Agreement have been completed, no such approval from the City shall be required. Excluding the City, Florida Hospital and all transferees, transferor, grantees, grantors, assignees and assignors of Florida Hospital relating to the Subject Property are jointly and severally liable for Florida Hospital's obligations under this Agreement. The rights granted to Florida Hospital under this Agreement relate specifically to the Subject Property and are not permitted to be transferred to any other property.

13. **Local Development Approvals and Permits.** Notwithstanding anything herein to the contrary, all development of the Hospital Project shall be in compliance with all applicable federal, state, county and municipal laws and ordinances, rules and regulations (including, but not limited to, the City's land development regulations, zoning requirements and comprehensive plan). Unless expressly authorized, provided or granted herein, nothing in this Agreement shall constitute or be deemed to constitute or require the City to issue any approval by the City of any rezoning, Comprehensive Plan amendment, variance, special exception, final site plan, preliminary subdivision plan, final subdivision plan, building permit, grading, stormwater drainage, engineering, or any other land use or development approval. Nor shall this Agreement be deemed to reduce, eliminate, derogate from or otherwise adversely affect any such approvals, permissions or rights. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures with respect to same as otherwise set forth in the City Code and subject to any conditions of approval thereof. Nothing in this Agreement shall constitute or be deemed to constitute a limitation, restriction or any other type of waiver of Florida Hospital's right or ability to seek a rezoning, comprehensive plan amendment, variance, special exception, site plan, preliminary subdivision plan, final subdivision plan, or any other land use or development approval.

Notwithstanding the foregoing, upon the approval of the City's Community Development Director, the City may issue a separate permit to Florida Hospital for site clearing and mass grading for the Initial Phase pursuant to a specific application therefore submitted by Florida Hospital after the City's approval of the Preliminary Development Plan, but prior to approval of the Final Development Plan.

14. **Rights-of-Way.** The City shall be under no obligation to condemn any right-of-way, easements or other property rights for the construction of the Hospital Project or for any of Florida Hospital's obligations provided for herein. However, the City agrees to cooperate with and assist Florida Hospital in obtaining any required consents and approvals from other governmental agencies that own real property affected by the Road Improvements.

15. **Transportation Impact Fees.**

- (a) All portions of the Hospital Project are subject to, and require payment of, the City's transportation impact fees prior to the time of obtaining each certificate of occupancy for construction of and/or build out of occupied/useable space within Hospital Project buildings and structures, subject to the provisions of this Agreement relative to transportation impact fee credits. With regard to the Hospital Shell Space and the Medical Office Shell Space, build out is subject to,



and requires payment of, the City's transportation impact fees prior to the time of obtaining each certificate of occupancy, subject to the provisions of this Agreement relative to transportation impact fee credits. Florida Hospital shall be entitled to transportation impact fee credits for the costs and expenses actually expended by Florida Hospital for those Road Improvements described in subparagraphs 3b and 3c of this Agreement, but only (i) to the extent that such costs and expenses are allowed by the City's Transportation Impact Fee Ordinance (Chapter 26 of the City Code), (ii) to the extent that such costs and expenses, along with all documentation therefore, are submitted to the City and such costs and expenses and documentation are reviewed and approved by the City as reasonable and consistent with the City's Transportation Impact Fee Ordinance (Chapter 26 of the City Code), and (iii) up to the amount such costs and expenses exceed Florida Hospital's proportionate share (fair share percentage) of the Road Improvements described in subparagraphs 3b and 3c actually constructed by Florida Hospital.

- (b) Notwithstanding anything in the City's Code, this Agreement and any other agreements or approvals, to the contrary, the amount of the transportation impact fee credits provided for in this Agreement shall not exceed the amount of the transportation impact fees assessed for development of the Subject Property. Further, transportation impact fee credits relating to the Subject Property and the Hospital Project are not transferable to or usable by any other property or project. The City shall not be responsible for providing any compensation or reimbursements concerning unused transportation impact fee credits obtained by Florida Hospital under this Agreement.
- (c) In connection with the calculation of the transportation impact fees and credits for the Hospital Project and each phase thereof, Florida Hospital may undertake and submit to the City for consideration an alternative transportation impact fee analysis in accordance with the provisions of the City's transportation impact fee ordinance.

16. **Permit Approvals.** Florida Hospital shall be responsible for providing to the City and obtaining any and all approvals and permits for the Road Improvements from all applicable governmental agencies or jurisdictions, including but not limited to, the St. John's River Water Management District ("SJRWMD"), Orange County, Central Florida Expressway Authority and the Florida Department of Environmental Protection ("FDEP").

17. **Authority.** Each party represents and warrants to the other party that it has all necessary power and authority to enter into and consummate the terms and conditions of this Agreement, that all acts, approvals, procedures, and similar matters required in order to authorize this Agreement have been taken, obtained, or followed, as the case may be, and that, upon the execution of this Agreement by all parties, this Agreement shall be valid and binding upon the parties hereto and their successors in interest and assigns. Florida Hospital represents and warrants to the City that it is the fee simple owner of the Subject Property, free and clear of all encumbrances on the Subject Property, including, but not limited to mortgages and liens, but excluding real estate taxes for 2014 and beyond.

18. **Effective Date.** This Agreement shall become effective upon execution by all parties and the PUD becoming effective (the "**Effective Date**").

19. **Breach.** In the event of a breach, default, or violation of one or more of the provisions herein by Florida Hospital or the City, the defaulting party shall be given thirty (30) days to cure such breach, default or violation upon receipt of written notice of the breach, default or violation from the non-defaulting party; provided, however, notwithstanding the foregoing, in the event any such breach, default or violation cannot reasonably be cured within such time period, the defaulting party shall have such additional time as necessary to cure such breach, default or violation, provided that the defaulting party (i) has commenced to cure such breach, default or violation during the initial thirty (30) day cure period, and (ii) takes those actions required to cure such breach, default or violation as soon as reasonably possible under the circumstances, but in any event within sixty (60) days after the expiration of the initial thirty (30) day cure period. In the event such breach, default or violation is not cured within said time period or time periods, Florida Hospital or the City, as the case may be, shall have the right to pursue any and all legal and equitable remedies available provided by law or in equity. Notwithstanding the foregoing, the City shall be permitted to, without notice, immediately withhold the issuance of, and revoke, certificates of occupancy, building permits and other permits and approvals associated with the Hospital Project in the event Florida Hospital fails to cure any breach, default or violation as described above.

20. **Amendment.** This Agreement may be amended, modified or cancelled by mutual consent of the parties hereto as represented by a written document executed by the City and Florida Hospital.

21. **Governing Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Florida. Exclusive venue in any action to construe or enforce the provisions of this Agreement shall be in the circuit court of and for Orange County, Florida.

22. **Recording.** Within fourteen (14) days after the execution of this Agreement by the parties, the City shall record this Agreement with the cost thereof to be borne by Florida Hospital.

23. **Non-Waiver of Sovereign Immunity.** Nothing contained in this Agreement nor in any instruments executed pursuant to the terms of this Agreement shall be construed as a waiver or attempted waiver by the City of its sovereign immunity under the Constitution and laws of the State of Florida.

24. **Informed Execution.** This Agreement is entered into voluntarily by Florida Hospital without duress and after full review, evaluation and consideration by Florida Hospital. Florida Hospital is represented by legal counsel, or alternatively, has been afforded an opportunity to retain legal counsel for review of this Agreement.

25. **Time is of the Essence.** Time is hereby declared to be of the essence in the performance of the duties and obligations of the respective parties to this Agreement.

26. **Captions.** The captions or section headings of this Agreement are provided for convenience only and shall not be deemed to explain, modify, amplify or aid in the interpretation, or meaning of this Agreement.

27. **Independent Parties.** The City and Florida Hospital are not partners and this Agreement is not a joint venture and nothing in this Agreement shall be construed to authorize Florida Hospital to represent or bind the City to matters not expressly authorized or provided in this Agreement.

28. **Consistency.** To the extent any of the provisions in this Agreement are inconsistent with, or are more specific than, the PUD, this Agreement controls.



AGREED by the CITY COUNCIL of the CITY OF APOPKA, a Florida municipality, and ADVENTIST HEALTH SYSTEM/SUNBELT, INC., a Florida not-for-profit corporation, as of the day first written above.

**[SIGNATURES ON NEXT PAGES]**

Signed, sealed and delivered in  
the presence of:

“CITY”

Print Name: \_\_\_\_\_

By: \_\_\_\_\_

Name: \_\_\_\_\_

Mayor

Print Name: \_\_\_\_\_

Date: \_\_\_\_\_, 2014

**ATTEST:**

By: \_\_\_\_\_

Name: \_\_\_\_\_

City Clerk

Date: \_\_\_\_\_, 2014

**APPROVED AS TO FORM AND LEGALITY** for use and reliance by the City of Apopka, Florida  
only:

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_, 2014

STATE OF FLORIDA  
COUNTY OF ORANGE

On this \_\_\_\_ day of \_\_\_\_\_, 2014, before me, the undersigned authority, personally  
appeared \_\_\_\_\_, as \_\_\_\_\_ and by  
\_\_\_\_\_, as \_\_\_\_\_ and are personally known to me  
to be the Mayor and City Clerk of the City of Apopka, Florida, respectively, and acknowledged before me  
that they executed the foregoing instrument on behalf of the City of Apopka, Florida, as its true act and  
deed, and that they were duly authorized to do so.

\_\_\_\_\_  
Signature of Notary Public

\_\_\_\_\_  
(Print Notary Name)

My Commission Expires: \_\_\_\_\_

Commission No.: \_\_\_\_\_

☐ Personally known, or

☐ Produced Identification

Type of Identification Produced: \_\_\_\_\_

AFFIX NOTARY STAMP



Signed, sealed and delivered in  
the presence of:

**“FLORIDA HOSPITAL”**

\_\_\_\_\_  
Print Name: \_\_\_\_\_

**ADVENTIST HEALTH SYSTEM/SUNBELT,  
INC.,** a Florida not-for-profit corporation

\_\_\_\_\_  
Print Name: \_\_\_\_\_

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Mayor

Date: \_\_\_\_\_, 2014

[CORPORATE SEAL]

STATE OF FLORIDA  
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_,  
2014, by \_\_\_\_\_, as \_\_\_\_\_ of **ADVENTIST HEALTH  
SYSTEM/SUNBELT, INC.,** a Florida not-for-profit corporation, on behalf of the corporation and he was  
duly authorized to do so.

\_\_\_\_\_  
Signature of Notary Public

AFFIX NOTARY STAMP

\_\_\_\_\_  
(Print Notary Name)  
My Commission Expires: \_\_\_\_\_  
Commission No.: \_\_\_\_\_  
☐ Personally known, or  
☐ Produced Identification  
Type of Identification Produced: \_\_\_\_\_

**EXHIBIT "A"**  
(Subject Property)

That part of the South 1/2 of the Northwest 1/4 of Section 20, Township 21 South, Range 28 East, Orange County, Florida, lying Westerly of the Westerly line of the right-of-way of County Road 437A and the Westerly line of the limited access right-of-way of State Road 429, being part of Parcel 63-125, all as described in Stipulated Order of Taking recorded in Official Records Book 5460, Page 4796, Public Records of Orange County, Florida; and South of the Southerly line of Parcel 212 Part C, and East of the Easterly line of Parcel 212 Part B, as described in Amended Stipulated Order of Taking recorded in Official Records Book 8959, Page 3113, Public Records of Orange County, Florida.



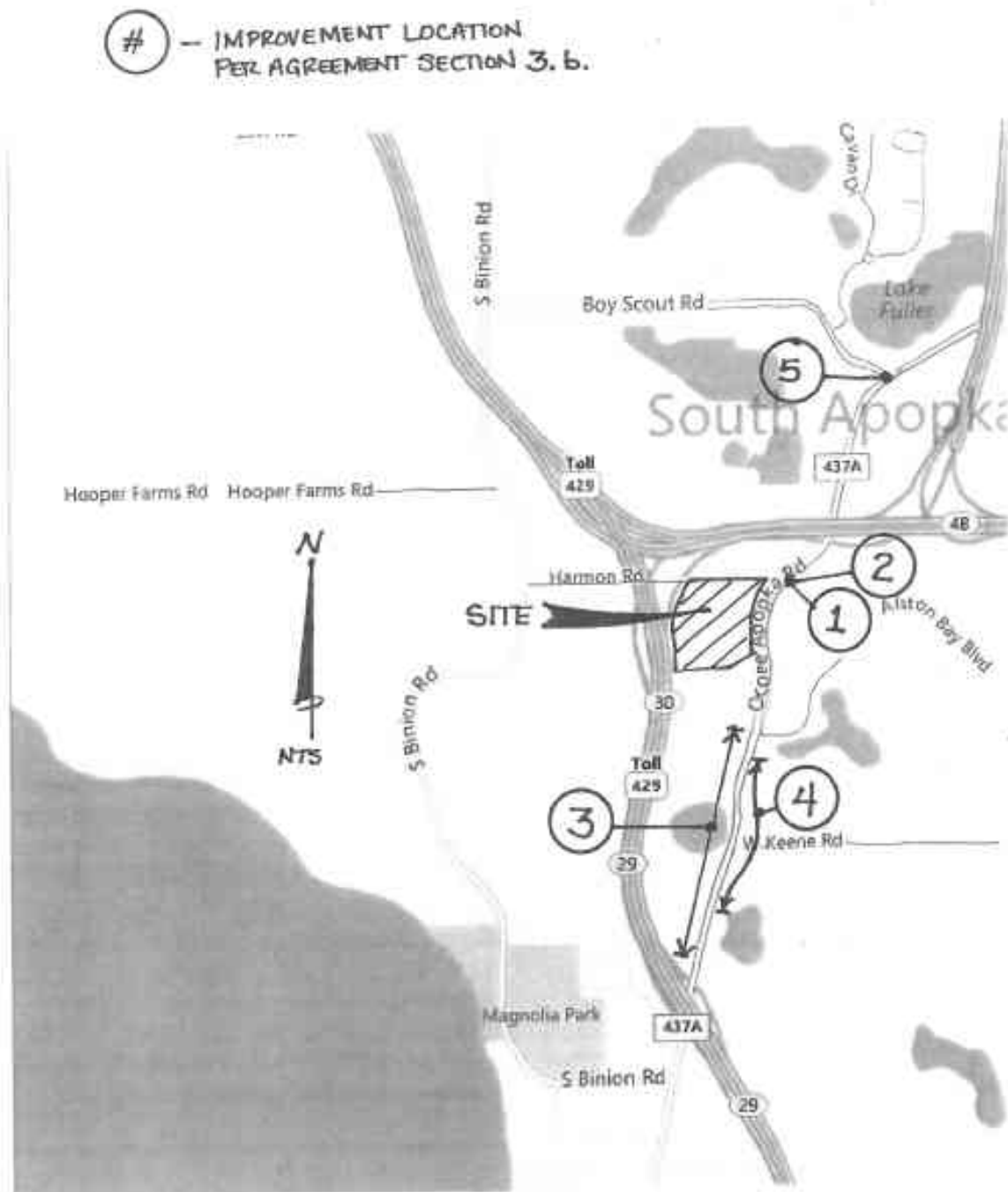
## EXHIBIT "B"

(Site-Related Road Improvements)



## EXHIBIT "C"

(Non-Site-Related Road Improvements)





## PUBLISHER'S AFFIDAVIT OF PUBLICATION

STATE OF FLORIDA

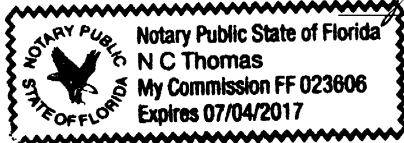
COUNTY OF ORANGE

Before the undersigned, personally appeared JOHN E. RICKETSON who is personally known to me and who on oath says he is PUBLISHER of **THE APOPKA CHIEF**, a weekly newspaper published at Apopka, in Orange County, Florida, that the attached copy of advertisement was published in said newspaper in the issues of: **November 07, 2014**, as well as being posted online at [www.theapokkachief.com](http://www.theapokkachief.com) and [www.floridapublicnotices.com](http://www.floridapublicnotices.com)

Affiant further says that the said **APOPKA CHIEF** is a newspaper published in said Orange County, Florida, and that said newspaper has heretofore been continuously published in said Orange County, Florida, each week and has been entered as periodical\* class mail matter (\*second class as renamed by USPS 7/1/96) at the post office in Apopka, in said Orange County, Florida for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he has neither paid nor promised any discount, rebate commission or refund for the purpose of securing this advertisement for publication in said newspaper.

Sworn and subscribed before me this

7th day of November, 2014, by John E. Ricketson,  
who is personally known to me.



N. C. THOMAS  
Notary Public, State of Florida  
My Commission FF 023606  
Expires July 04, 2017

## Public Notice

### CITY OF APOPKA PUBLIC HEARING NOTICE

The following ordinances be read and considered for adoption at the City Council meeting in the Apopka City Hall Council Chambers on **Wednesday, November 19, 2014, at 8:00 p.m.**, or as soon thereafter as possible.

#### ORDINANCE NO. 2386

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM "COUNTY" PD TO "CITY" PLANNED UNIT DEVELOPMENT (PUD/R-1A) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED SOUTH OF SANDPIPER STREET, WEST OF NORTH THOMPSON ROAD, EAST OF USTLER ROAD, COMPRISING 58.23 ACRES, MORE OR LESS AND OWNED BY FLORIDA LAND TRUST #111 - ZBA AT SANDPIPER, LLC; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

#### ORDINANCE NO. 2388

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AFFECTING THE USE OF LAND IN THE CITY OF APOPKA, AMENDING ARTICLE III OF THE LAND DEVELOPMENT CODE TO INCLUDE A NEW SECTION 3.05 TITLED "DESIGNATED GROW AREA OVERLAY DISTRICT", PROVIDING THAT CANNABIS CULTIVATION AND PROCESSING AND MARIJUANA DISPENSARIES/MEDICAL TREATMENT CENTERS ARE SPECIAL EXCEPTION USES WITHIN A "DESIGNATED GROW AREA OVERLAY DISTRICT" AND PROHIBITING SUCH USES WITHIN ANY OTHER ZONING DISTRICTS OR LOCATIONS WITHIN THE JURISDICTION OF APOPKA; PROVIDING ADDITIONAL STANDARDS AND CONSIDERATION FOR APPROVAL OF A SPECIAL EXCEPTION FOR CANNABIS CULTIVATION OR PROCESSING OR MARIJUANA DISPENSARY/ MEDICAL MARIJUANA TREATMENT CENTER; PROVIDING DEFINITIONS; PROVIDING FOR CONFLICTS, SEVERABILITY, CONDITIONS; AND SETTING AN EFFECTIVE DATE.

#### ORDINANCE NO. 2390

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM "COUNTY" LOW DENSITY RESIDENTIAL (0-4 DU/AC) & "CITY" RESIDENTIAL VERY LOW SUBURBAN (0-2 DU/AC) TO "CITY" AGRICULTURE (1 DU/5 AC) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED EAST OF VICK ROAD, NORTH OF WEST LESTER ROAD, COMPRISING 9.97 ACRES MORE OR LESS, AND OWNED BY METZLER FAMILY TRUST; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

#### ORDINANCE NO. 2391

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM "COUNTY" A-1 (0-4 DU/AC) (RESIDENTIAL) AND "CITY" R-1A (0-10 DU/AC) TO "CITY" AG (1 DU/5 AC) (CONTAINER NURSERY) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF LESTER ROAD, EAST OF VICK ROAD (2127 AND 2133 VICK ROAD), COMPRISING 9.97 ACRES MORE OR LESS, AND OWNED BY METZLER FAMILY TRUST; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

#### ORDINANCE NO. 2392

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM "COUNTY" I-1/1-5 (ZIP) (LIGHT INDUSTRIAL) TO "CITY" I-1 (INDUSTRIAL) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF 13TH STREET, EAST OF LAMBING LANE, COMPRISING 2.3 ACRES MORE OR LESS, AND OWNED BY NORMAN E. SAWYER; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

#### ORDINANCE NO. 2393

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM "COUNTY" A-1 (ZIP) TO "CITY" PLANNED UNIT DEVELOPMENT (PUD/HOSPITAL, MEDICAL OFFICE AND ACCESSORY USE) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED SOUTH OF HARMON ROAD, WEST OF OCOEE APOPKA ROAD, AND EAST OF S.R. 429, COMPRISING 33.7 ACRES, MORE OR LESS AND OWNED BY ADVENTIST HEALTH SYSTEM/SUNBELT, INC., DBA FLORIDA HOSPITAL APOPKA; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Interested parties may appear at this meeting and be heard with respect to the proposed ordinances. The proposed ordinances are available in the City Clerk's office or the Community Development Department for inspection. All interested parties may appear and be heard with respect to these hearings. Please be advised that, under State law, if you decide to appeal a decision made with respect to this matter, you will need a record of the proceedings and may need to ensure that a verbatim record is made, which record includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act (ADA), persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka FL 32703, Telephone: 407-703-1704, no less than 48 hours prior to the proceeding.

City of Apopka City Council  
Community Development Department

November 7, 2014  
Publish: The Apopka Chief

150782

**Backup material for agenda item:**

1. PRELIMINARY DEVELOPMENT PLAN - Adventist Health System/Sunbelt, Inc. DBA Florida Hospital Apopka, c/o Raymond Moe, for property located south of Harmon Road, west of Ocoee Apopka Road, and east of S.R. 429. (Parcel ID #: 20-21-28-0000-00-007)





## CITY OF APOPKA CITY COUNCIL

☒ PUBLIC HEARING  
☐ ANNEXATION  
☐ PLAT APPROVAL  
☐ OTHER:

DATE: November 19, 2014  
FROM: Community Development  
EXHIBITS: Zoning Report  
Vicinity Map  
Preliminary Development Plan  
Landscape Plan

**SUBJECT:** PRELIMINARY DEVELOPMENT PLAN - ADVENTIST HEALTH SYSTEM/SUNBELT, INC. DBA FLORIDA HOSPITAL APOPKA, PHASE 1

**Request:** APPROVE THE PRELIMINARY DEVELOPMENT PLAN FOR ADVENTIST HEALTH SYSTEM/SUNBELT, INC. DBA FLORIDA HOSPITAL APOPKA, PHASE 1; AND ISSUE THE PRELIMINARY DEVELOPMENT ORDER. (PARCEL ID NUMBER: 20-21-28-0000-00-007)

### **SUMMARY**

OWNER: Adventist Health System/Sunbelt, Inc., DBA Florida Hospital Apopka  
APPLICANT: Florida Hospital Apopka, c/o Raymond Moe  
ENGINEER: Donald W. McIntosh Associates, Inc., c/o John T. Townsend, P.E.  
LOCATION: South of Harmon Road, west of Ocoee Apopka Road, and east of S.R. 429  
EXISTING USE: Vacant Land  
FUTURE LAND USE: Mixed Use  
ZONING: "County" A-1 (ZIP)  
PROPOSED ZONING: "City" Planned Unit Development (PUD/Mixed EC)  
PROPOSED DEVELOPMENT: Hospital with ancillary uses and Medical Offices (including a medical helipad)  
Up to 200 bed, seven-story hospital (up to 600,000 sq. ft.) and medical office building (up to 200,000 sq. ft.)  
First Phase: 80 beds (400,000 sq. ft.) with 80,000 sq. ft. medical office space and a helipad  
TRACT SIZE: 33.7 +/- acres  
MAXIMUM ALLOWABLE DEVELOPMENT: As allowed by the PUD Master Plan

### **DISTRIBUTION**

Mayor Kilsheimer  
Commissioners (4)  
Interim CA  
Community Dev. Dir.

Finance Dir.  
HR Director  
IT Director  
Police Chief

Public Ser. Dir.  
City Clerk  
Fire Chief

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i><b>Direction</b></i>	<i><b>Future Land Use</b></i>	<i><b>Zoning</b></i>	<i><b>Present Use</b></i>
North (County) North (City)	“County” Rural (1 du/10 ac/Agricultural)	A-1 (ZIP)	Vacant/S.R. 429
East (City)	Mixed Use	Mixed EC	Emerson Park Mixed Use PUD; parcels owned by Florida Hospital
South (County) South (City)	“County” Rural (1 du/10 ac/Agricultural) “City” Mixed Use	A-1 (ZIP) Mixed EC	Vacant/S.R. 429; parcels owned by Florida Hospital
West (City)	Mixed Use	Mixed EC	Vacant/S.R. 429

**ADDITIONAL COMMENTS:**

The subject property was annexed into the City of Apopka on December 19, 2007, through the adoption of Ordinance No. 2013. The Florida Hospital Preliminary Development Plan is consistent with the PUD Master Plan. If any differences occur between the Preliminary Development Plan and the PUD Master Plan, the PUD Master Plan shall preside.

Transportation infrastructure improvements shall occur consistent with the Transportation Infrastructure Agreement. Modification of the Preliminary Development Plan to address any improvements within the Transportation Infrastructure Agreement shall only require review by the Development Review Committee unless any such plan changes are determined by the Community Development Director to be substantial modifications warranting Planning Commission and/or City Council review.

**COMPREHENSIVE PLAN COMPLIANCE:** The proposed Preliminary Development Plan is consistent the Florida Hospital Replacement Campus Master Plan, Land Development Code, Comprehensive Plan and Development Design Guidelines.

**STORMWATER:** Stormwater run-off and drainage will be accommodated by on-site stormwater management system that complies with the City’s stormwater drainage standards.

**BUFFER/TREE PROGRAM:** Buffers are provided consistent with the PUD Master Plan Sheets L40.02 and L40.3 Landscape buffers along Ocoee Apopka Road, Harmon Road, and Sr. 429 are 13, 11, and 15 feet in width, respectively.

Final tree replacement calculation and mitigation shall be addressed with the Final Development Plan application.

**PARKING AND ACCESS:** A total of 840 parking spaces are provided, of which 59 are handicapped spaces and 10 are designated motorcycle space. Two electric car recharging stations are provided as well. The main entrance to the site is from Ocoee Apopka Road with a second access from Harmon Road. A delivery-only entrance is also provided along Harmon Road. A future LYNX bus transit shelter and pull-off lane are also planned along Ocoee Apopka Road

**EXTERIOR ELEVATIONS:** The design of the building exterior meets the intent of the City’s Development Design Guidelines and was provided with the PUD Master Plan.



**PUBLIC HEARING SCHEDULE:**

October 21, 2014 – Planning Commission (6:30 pm)

November 19, 2014 - City Council (6:30 pm)

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**RECOMMENDED ACTION:**

The **Development Review Committee** recommends approval of the Preliminary Development Plan for the Florida Hospital Replacement Campus, Phase 1, subject to the findings of the staff report.

The **Planning Commission**, at its meeting on October 21, 2014, recommended approval (7-0) of the Preliminary Development Plan for the Florida Hospital Replacement Campus, Phase 1, subject to the findings of the staff report.

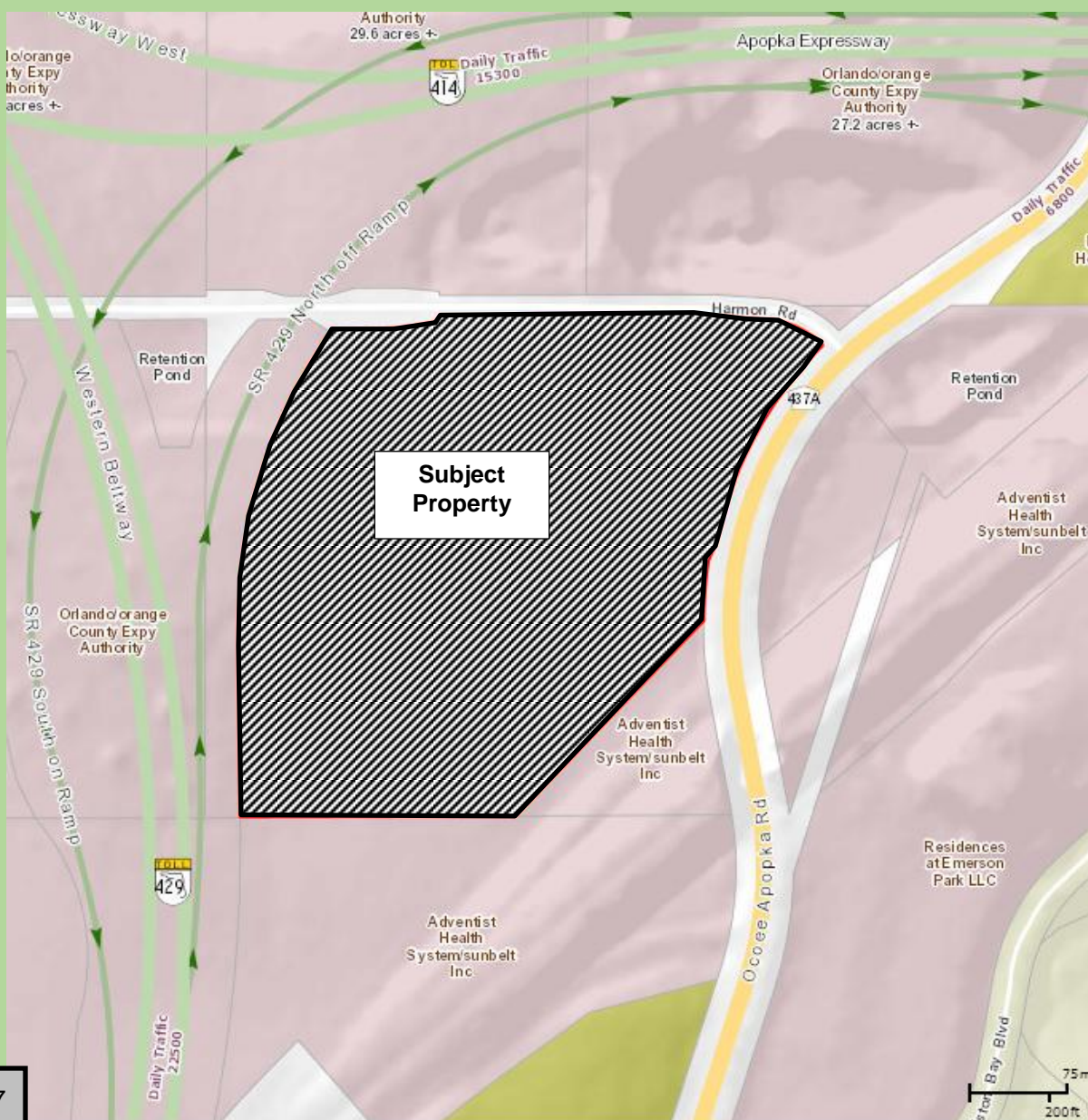
Approve the Preliminary Development Plan for the Florida Hospital Replacement Campus, Phase 1, subject to the findings of the staff report; and issue the Preliminary Development Order.

**Note: The Preliminary Development Plan (PDP) shall be consistent with the approved PUD Master Plan. The PDP shall be amended the PDP to be consistent with the PUD Master Plan. This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.**



**Florida Hospital Apopka Replacement Campus, Phase 1**  
**Preliminary Development Plan**  
**Owner: Adventist Health System/Sunbelt, Inc.,**  
**DBA Florida Hospital, c/o Raymond Moe**  
**Engineer: Donald W. McIntosh Associates, Inc., c/o John T. Townsend, P.E.**  
**33.7 +/- Acres**  
**Parcel ID #: 20-21-28-0000-00-007**

## VICINITY MAP



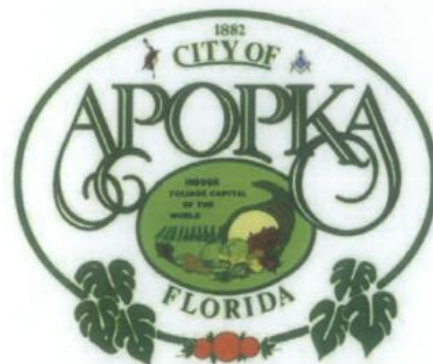
PRELIMINARY DEVELOPMENT PLAN

# FLORIDA HOSPITAL APOPKA REPLACEMENT CAMPUS - PHASE 1

CITY OF APOPKA, FLORIDA

PREPARED FOR

**ADVENTIST HEALTH SYSTEM/SUNBELT, INC.**  
(DBA FLORIDA HOSPITAL APOPKA)  
201 NORTH PARK AVENUE  
APOPKA, FL 32703



SECTION 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST  
PROPERTY APPRAISER PARCEL ID # 20-21-28-0000-00-007

LEGAL DESCRIPTION:

That part of the South 1/2 of the Northwest 1/4 of Section 20, Township 21 South, Range 28 East, Orange County, Florida, lying Westerly of the Westerly line of the right-of-way of County Road 437A and the Westerly line of the limited access right-of-way of State Road 429, being part of Parcel 63-125, all as described in Stipulated Order of Taking recorded in Official Records Book 5460, Page 4796, Public Records of Orange County, Florida; and South of the Southerly line of Parcel 212 Part C, and East of the Easterly line of Parcel 212 Part B, as described in Amended Stipulated Order of Taking recorded in Official Records Book 8959, Page 3113, Public Records of Orange County, Florida.

Containing 33.713 Acres more or less and being subject to any rights-of-way, restrictions and easements of record.

ENGINEER/SURVEYOR:

DONALD W. MCINTOSH ASSOCIATES, INC.  
2200 PARK AVENUE NORTH  
WINTER PARK, FLORIDA 32789  
PH: 407.644.4068  
CONTACT PERSON: JOHN T. TOWNSEND, PE

ARCHITECT:

EARL SWENSSON & ASSOCIATES, INC.  
2100 WEST END AVENUE, SUITE 1200  
VANDERBILT PLAZA  
NASHVILLE, TENNESSEE 37203  
PH: 615.329.9445  
CONTACT PERSON: MATT MANNING, AIA

OWNER/APPLICANT:

ADVENTIST HEALTH SYSTEMS/SUNBELT, INC.  
DBA FLORIDA HOSPITAL APOPKA  
201 NORTH PARK AVENUE  
APOPKA, FLORIDA 32703  
PH: 407.889.1001  
CONTACT PERSON: JENNIFER WANDERSLEBEN

PROJECT MANAGER

ADVENTIST HEALTH SYSTEMS/SUNBELT, INC.  
DBA FLORIDA HOSPITAL  
1919 NORTH ORANGE AVENUE, SUITE D  
ORLANDO, FLORIDA 32803  
PH: 407.303.1166  
CONTACT PERSON: RAYMOND MOE, SR. PROJ MGR

**REVISION OCTOBER 3, 2014**  
**AUGUST 20, 2013**



**DONALD W. MCINTOSH ASSOCIATES, INC.**  
ENGINEERS PLANNERS SURVEYORS  
2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068



**FLORIDA HOSPITAL  
APOPKA**

*The skill to heal. The spirit to care.®*

**SHEET INDEX**

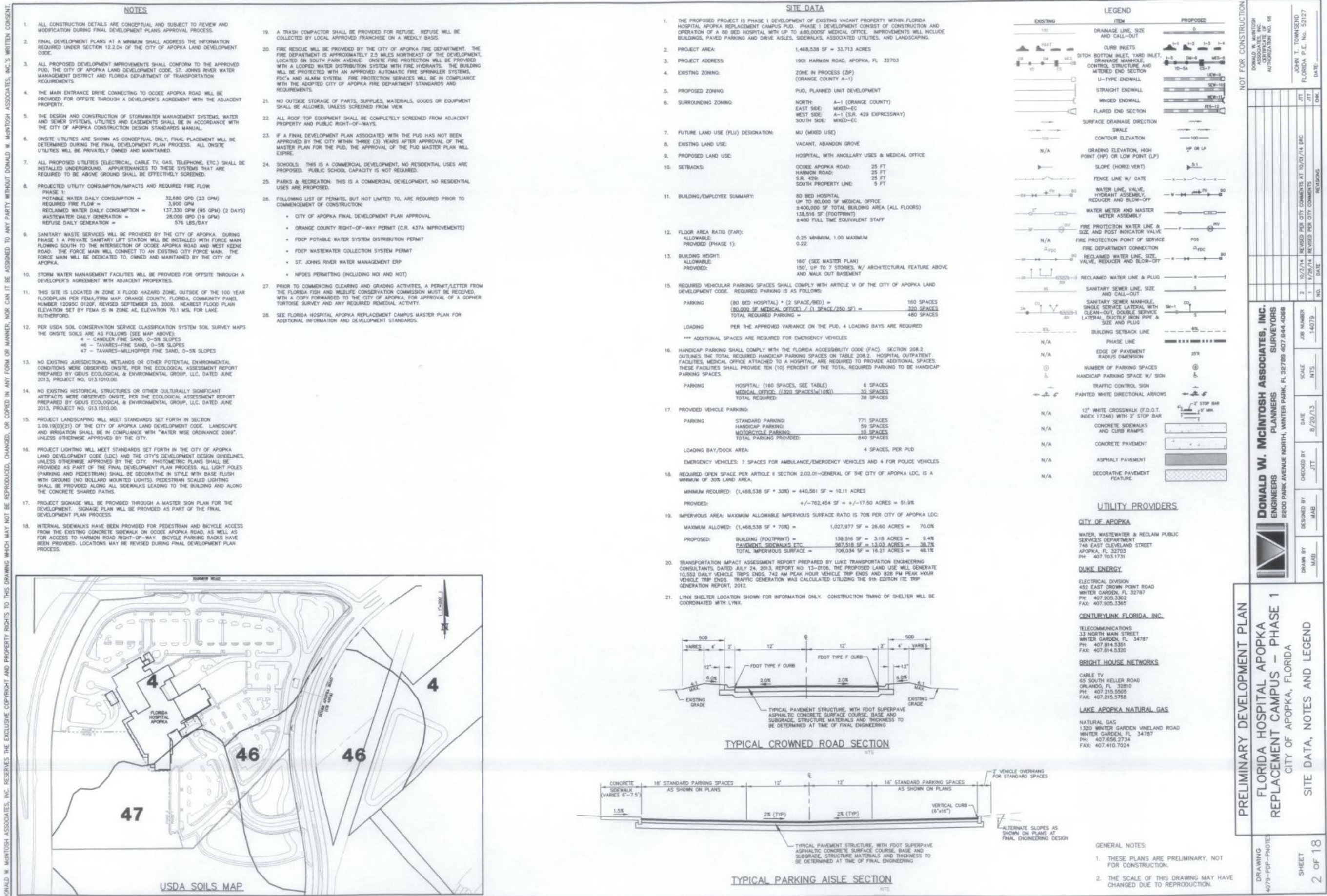
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  - 2 SITE DATA, NOTES AND LEGEND
  - 3 EXISTING CONDITIONS PLAN
  - 4 AERIAL
  - 5 OVERALL DEVELOPMENT PLAN
  - 6 SITE PLAN - QUADRANT 1
  - 7 SITE PLAN - QUADRANT 2
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NOT FOR CONSTRUCTION  
DONALD W. MCINTOSH  
ASSOCIATES, INC.  
FLORIDA P.E. NO. 52127  
AUTHORIZATION NO. 88

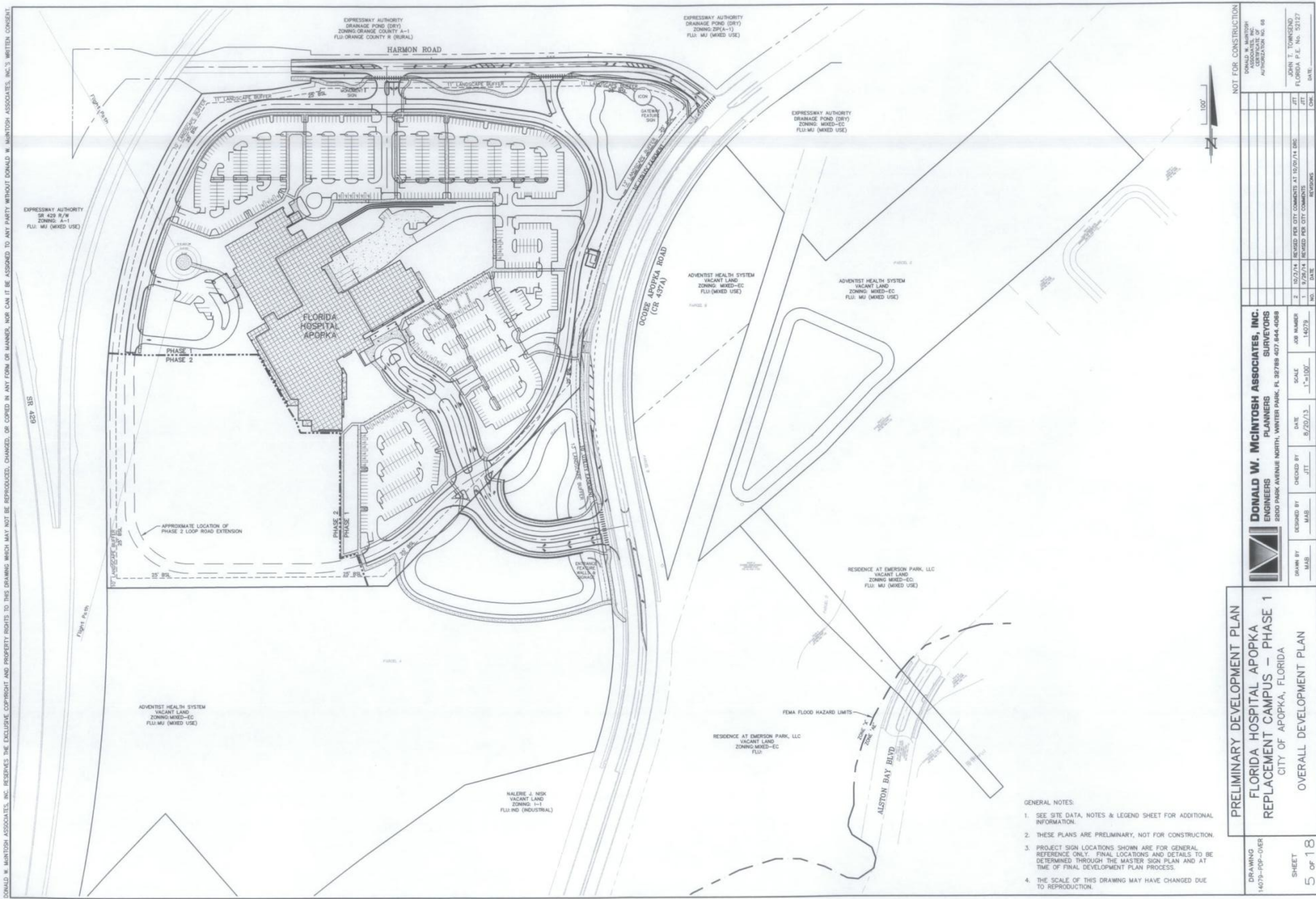
JOHN T. TOWNSEND  
FLORIDA P.E. NO. 52127  
DATE: \_\_\_\_\_

FLORIDA HOSPITAL APOPKA REPLACEMENT CAMPUS - PHASE 1 - PDP-14079 - 8/20/13, REV 10/3/14









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PRELIMINARY DEVELOPMENT PLAN

FLORIDA HOSPITAL APOPKA  
REPLACEMENT CAMPUS - PHASE 1

CITY OF APOPKA, FLORIDA

OVERALL DEVELOPMENT PLAN

DRAWING  
14079-POP-OVER

SHEET  
5 of 18

NOT FOR CONSTRUCTION

DONALD W. MCINTOSH ASSOCIATES, INC.  
ENGINEERS  
2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407 844 4088

PLANNERS  
SURVEYORS

DESIGNED BY  
MAB

CHECKED BY  
JTT

DATE  
8/20/13

SCALE  
1"=100'

JOB NUMBER  
14079

2 10/2/14 REVISION FOR CITY COMMENTS AT 10/01/14 DRG

1 9/26/14 REVISION FOR CITY COMMENTS

NO. DATE REVISIONS

JOHN T. TOWNSEND  
FLORIDA P.E. No. 52127

DATE

1. SEE SITE DATA, NOTES & LEGEND SHEET FOR ADDITIONAL INFORMATION.

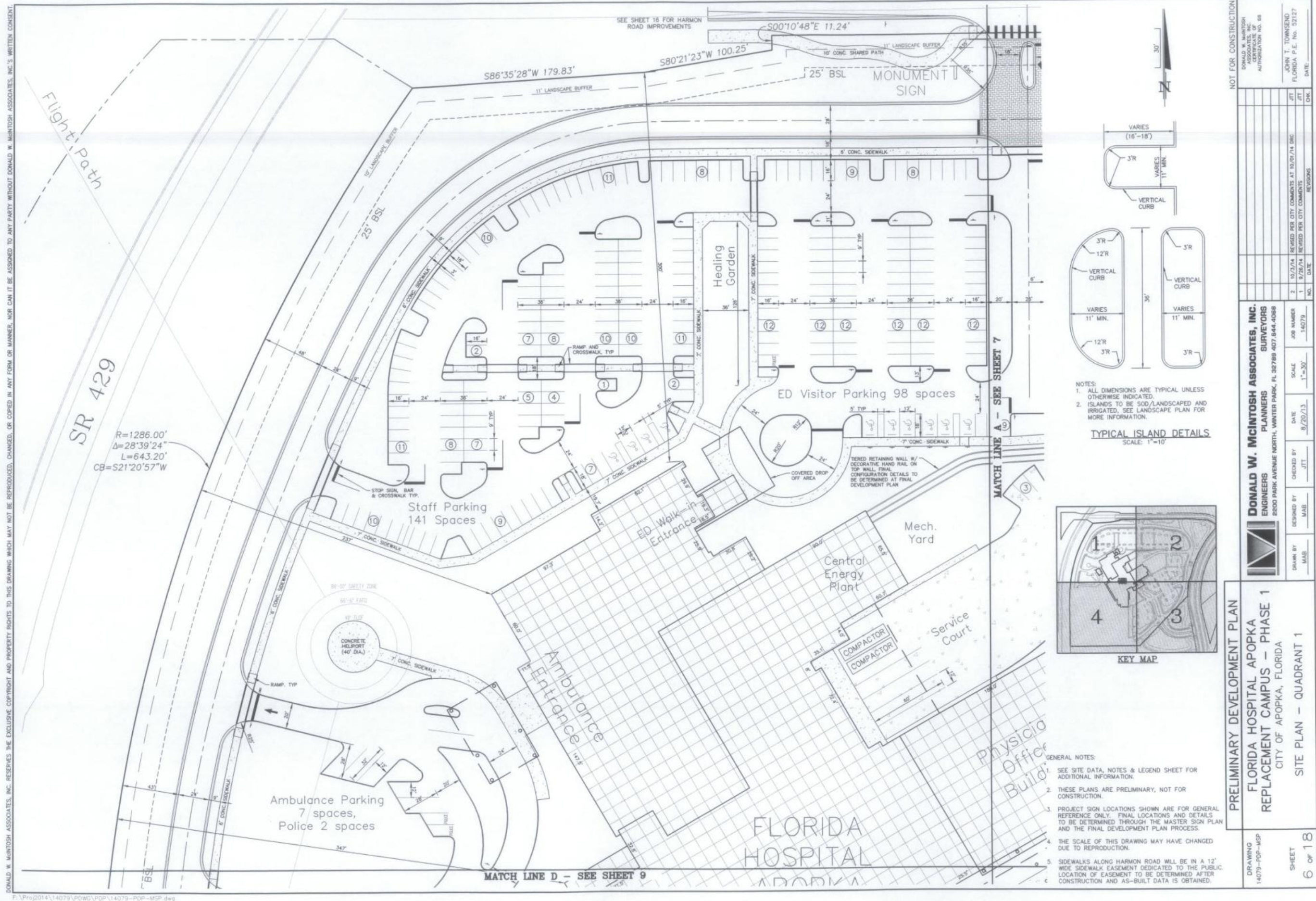
2. THESE PLANS ARE PRELIMINARY, NOT FOR CONSTRUCTION.

3. PROJECT SIGN LOCATIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. FINAL LOCATIONS AND DETAILS TO BE DETERMINED THROUGH THE MASTER SIGN PLAN AND AT TIME OF FINAL DEVELOPMENT PLAN PROCESS.

4. THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.

Page 50

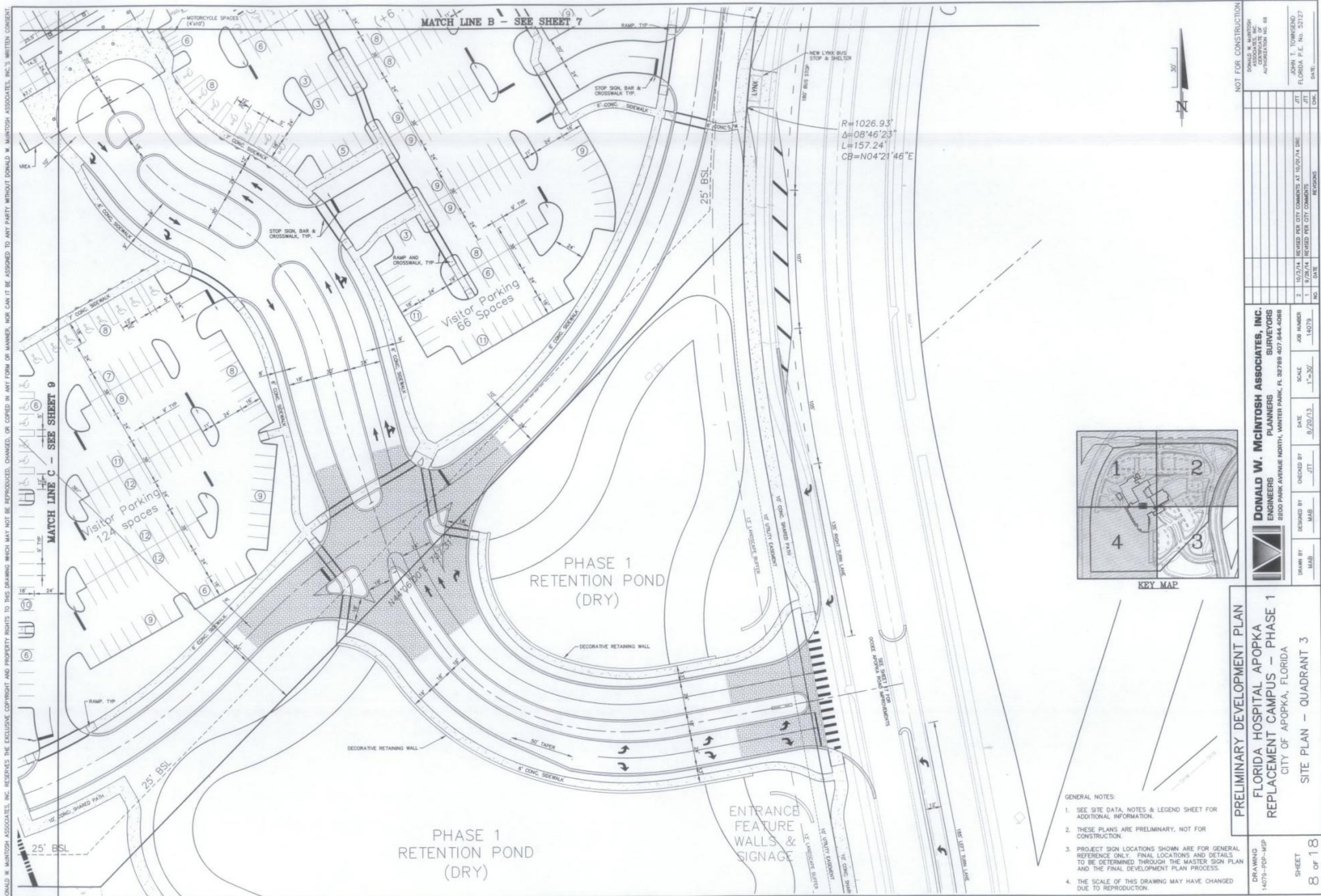






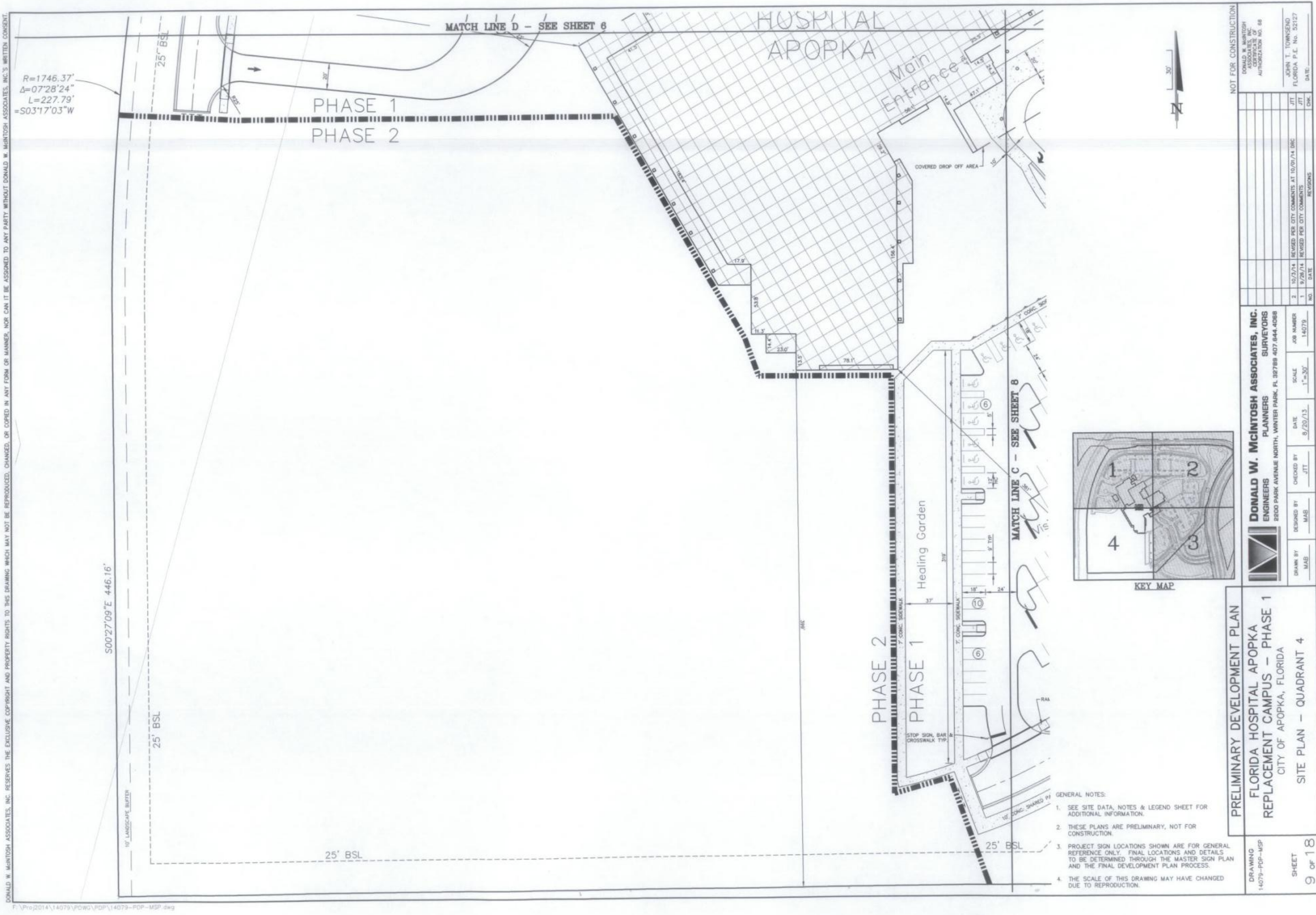






NOT FOR CONSTRUCTION		DONALD W. MCINTOSH ASSOCIATES, INC. ENGINEERS PLANNERS SURVEYORS 8200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068		JOHN T. TOWNSEND FLORIDA P.E. NO. 52127	
DRAWN BY MAB		DESIGNED BY MAB		CHECKED BY JTT	
DATE 9/20/13		SCALE 1"=30'		JOB NUMBER 14079	
NO. DATE		REVISED PER CITY COMMENTS AT 10/09/14 DRC		REVISED PER CITY COMMENTS	
1 9/26/14		2 10/2/14		JTT	
3 10/2/14		4 10/2/14		CHK.	
DATE		DATE		DATE	







OWNER / DEVELOPER
ADVENTIST HEALTH SYSTEM/SUNBELT, INC FLORIDA HOSPITAL ACCOUNTING DEPARTMENT 601 E. ROLLINS ST, ORLANDO, FL 32803 P: 407.303.1166
ARCHITECT
ES&A 2100 WEST END AVENUE, SUITE 1200 NASHVILLE, TN 37203 P: 615.329.0046
CIVIL ENGINEER
DONALD W. MCINTOSH ASSOCIATES, INC. 2200 PARK AVENUE NORTH WINTER PARK, FL 32789-2355 P: 407.644.4068
IRRIGATION DESIGNER
PREVOST-STAMPER, INC. 600 EDWARDS STREET, SUITE 7102 CELEBRATION, FLORIDA 34747 P: 407.566.9009

FLORIDA HOSPITAL  
APOKA  
PHASE 1


APOKA, FLORIDA

Rev:	Date:	Description:	By:
1			
2			
3			

Sheet Title:


OVERALL PLAN


Date:	OCT. 07. 2014	Scale:	1"=80'-0"
Drawn By:	JYP	Designed By:	EML, JYP
Approved By:	EML	Project No:	2.14153


Seal:	Sheet Number:
	L40.00


PLANT LEGEND

ORNAMENTAL TREES


 SHADE TREE  
(MIN. 3" CALIPER)



 FLOWERING / ORNAMENTAL TREE  
(MIN. 8' HEIGHT)


 EVERGREEN TREE  
(MIN. 8' HEIGHT)



 EXISTING TREE TO REMAIN


NOTE: SELECT TREES TO REMAIN BASED ON TREE SURVEY AND FINAL ENGINEERING


PALM TREES



 PALM TREE  
(HEIGHT VARY)


SHRUB AND GROUNDCOVER SYMBOLS



 SHRUB



 GROUNDCOVER


 ORNAMENTAL GRASS


 TURF


 MULCH


 NORTH


 1"=80'-0"  
0 40' 80' 160' 240'





LANDSCAPE NOTES

1. The Contractor shall field verify all existing conditions and base information prior to initiating planting installation.
2. Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions and coordinate with Owner's Representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
3. Contractor shall familiarize himself/herself with existing site conditions prior to initiating planting. All existing site furnishings, paving, landscape and other elements to remain shall be protected from any damage unless otherwise noted.
4. Unless otherwise noted, the limits of construction are the limits of work noted on the drawings.
5. Report any discrepancies between the construction drawings and field conditions to the Owner's Representative immediately.
6. Landscape contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the Contractor's own work.
7. Contractor shall be responsible for removing existing groundcover for all planting beds as specified prior to planting installation.
8. The contractor shall bear all costs of testing of soils, amendments, etc. associated with the work and included in the specifications. Prior to commencement of the landscape planting work the Contractor shall provide complete soil tests for at least two on-site areas.
9. All plant material shall be in full and strict accordance with the "Florida Grades and Standards" and the project manual and specifications. Plant materials shall exceed in some instances some specifications if necessary to meet the minimum requirements of others.
10. All trees shall have six feet (6') clear trunk unless otherwise specified.
11. All container sizes noted on plant list are minimum. Increase size if necessary to conform to plant size and specifications.
12. All tree caliper sizes noted on plant list are minimum. Increase size if necessary to conform to plant size and specifications.
13. Any tree with a trunk formed "V" shape crotch will be rejected.
14. Erosion control fabric shall be installed in all shrub and groundcover planting areas as per specifications for all slopes that exceed 3:1. See grading plans for location of slopes greater than 3:1.
15. Typically, shrub and groundcover plantings are shown as mass planting beds. Plants shall be placed on a triangular spacing configuration (staggered spacing). Plant center to center dimensions (O.C.) are listed under "Comments" on the plant list.
16. Landscape Contractor shall field stake the location of all plant material prior to initiating installation for the review and approval of the Owner's Representative and/or Landscape Architect.
17. Landscape Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/or existing above ground elements. All changes required shall be completed at the Contractor's expense and shall be coordinated with the Owner's Representative and the Landscape Architect.
18. Contractor shall mulch all new plant material throughout and completely to the depth specified.
19. Any substitutions in size and/or plant material must be approved by the Landscape Architect. All plants will be subject to approval by Landscape Architect and/or Owner's Representative before planting can begin.
20. Contractor shall refer to the landscape planting details, plant list, general notes and the project manual and specifications for further and complete landscape planting instructions.
21. Landscape Contractor shall coordinate all planting work with irrigation work. Landscape Contractor shall be responsible for all hand watering as required by Owner's Representative to supplement irrigation watering and rainfall. Landscape Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.
22. Landscape Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and deposited off-site daily. All materials, products and equipment shall be stored in an organized fashion as directed by the Owner's Representative.
23. Landscape Contractor shall regrade all areas disturbed by plant removal, relocation and/or installation work. Landscape Contractor shall replace (by equal size and quality) any and all existing plant material disturbed, damaged, or dead by plant removal, relocation, and/or installation work.
24. Landscape Contractor shall test each plant pit to assure percolation and if found not to percolate or shows evidence of slow percolation, shall provide at his/her sole cost an approved method to drain plant pit or bed.
25. The contractor shall install a root barrier on all shade trees planted within 7' of a water or sewer line per county regulations.
26. Contractor to provide allowance for removal of existing plants, new soil and installation of premium plant beds and tie into existing irrigation system.
27. Contractor to provide the following plants for on-site, as directed use to supplement planting material that is installed per the planting plan:

TREE REMOVAL AND REPLACEMENT

Total tree inches on-site: 11,154 inches. (Pine and camphor trees are not included)
Total number of specimen trees (24" or greater): 9.
Total number of specimen trees (24" or greater) retained: 1.
Total number of specimen trees (24" or greater) removed: 8.
Total tree inches removed: 10,018 inches.
Total tree inches retained: 1,136 inches.
Total tree inches replaced: 5,109 inches.
Maximum tree stock formula and calculations: 1000 x total tree inches post development (inch) / site clearing area (sf) = 1000 x 6,245 / 1,138,754 = 5.48.
Total inches post development: 6,245 inches.
Site clearing area in square feet: 1,138,754 sf.

PLANT SCHEDULE

TREES							
QTY	KEY	BOTANICAL NAME	COMMON NAME	CAL.	SIZE	SPACING	REMARKS
	AR	Acer rubrum	Red Maple	4"	14' Hgt. x 8' Spd.	AS SHOWN	Single / straight trunk / Full / 8' C.T.
	ED	Elaeagnus edulis	Japanese Blueberry Tree	3"	9' Hgt. x 5' Spd.	AS SHOWN	Single / straight trunk / Full to ground / Full
	FS-1	Ficus religiosa	Fig	3"	6' O.A.	AS SHOWN	Florida Fancy / Tree form
	IC	Ilex cassine	Chinese Holly	3"	12' Hgt. x 4' Spd.	AS SHOWN	Single trunk / Full to ground
	IBS	Ilex x 'Nellie R. Stevens'	Nellie Stevens Holly	3"	12' Hgt. x 3.5' Spd.	AS SHOWN	Single trunk / Full to ground
	JS	Jurinea elliptica	Southern Red Cedar	3"	12' Hgt. x 8' Spd.	AS SHOWN	Single trunk / Full to ground
	LM	Laguncularia indica 'Muskogee'	Muskogee Crape Myrtle	3"	12' Hgt. x 7' Spd.	AS SHOWN	Multi-trunk / Full / 8' C.T. (Lavender)
	LM(S)	Laguncularia indica 'Muskogee'	Muskogee Crape Myrtle (Standard)	3"	12' Hgt. x 7' Spd.	AS SHOWN	Single-trunk / Full / 8' C.T. (Lavender)
	LN	Laguncularia indica 'Natchez'	Natchez Crape Myrtle	3"	12' Hgt. x 7' Spd.	AS SHOWN	Single / straight trunk / Full / 8' C.T. (White)
	LN(S)	Laguncularia indica 'Natchez'	Natchez Crape Myrtle (Standard)	3"	12' Hgt. x 7' Spd.	AS SHOWN	Single / straight trunk / Full / 8' C.T. (White)
	UT	Ulmus americana	American Elm	3"	12' Hgt. x 7' Spd.	AS SHOWN	Multi-trunk / Full / 8' C.T. (Red)
	LT	Liquidambar styraciflua	Japanese Privet	3"	8' Hgt. x 8' Spd.	AS SHOWN	Multi-trunk / Full / 8' C.T.
	MG	Magnolia grandiflora	Southern Magnolia	3"	12' Hgt. x 8' Spd.	AS SHOWN	Single / straight trunk / Full / 8' C.T.
	MG(S)	Magnolia grandiflora 'Bradford's Brown Beauty'	Bradford's Brown Beauty Magnolia	4"	14' Hgt. x 9' Spd.	AS SHOWN	Single / straight trunk / Full branching to the ground / Florida fancy
	MDLG	Magnolia grandiflora 'Little Gem'	Southern Magnolia 'Little Gem'	3"	8' Hgt. x 4' Spd.	AS SHOWN	Single / straight trunk / Full branching to the ground / Florida fancy
	MC	Myrica caroliniana	Wax Myrtle	3"	8' Hgt. x 8' Spd.	AS SHOWN	Multi-trunk / Full
	PE	Pinus strobus	Slash Pine	3"	12' Hgt. x 8' Spd.	AS SHOWN	Single / straight trunk / Full / 8' C.T.
	QV-4	Quercus virginiana	Live Oak	4"	18' Hgt. x 8' Spd.	AS SHOWN	Single / straight trunk / Full / 8' C.T.
	QV-6	Quercus virginiana	Live Oak	6"	18' Hgt. x 12' Spd.	AS SHOWN	Single / straight trunk / Full / 8' C.T.
	QV-8	Quercus virginiana	Live Oak	8"	20' Hgt. x 14' Spd.	AS SHOWN	Single / straight trunk / Full / 8' C.T.
	TD	Taxodium distichum	Bald Cypress	4"	12' Hgt. x 8' Spd.	AS SHOWN	Single / straight trunk / Full / 8' C.T.
	TU	Taxodium umbellatum	Yellow Thread Tree	3"	12' Hgt. x 8' Spd.	AS SHOWN	Single / straight trunk / Full / 8' C.T. / Florida fancy
	UA	Ulmus americana	Winged Elm	4"	14' Hgt. x 8' Spd.	AS SHOWN	Single / straight trunk / Full / 8' C.T.

PALMS							
QTY	KEY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	SPACING
	SPX	Subot palmato	Boxed Cabbage Palm	5 & 8	14"	8'-20' C.T.	AS SHOWN

SHRUBS							
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	
	BMW	Bumelia monophylla 'Wintergreen'	Wintergreen Broomrape	30" Hgt.	30" O.C.	3 Gal. Cont. / Full / 3 plants per pot	
	DB	Duranta repens	Golden Shasta	24" O.A.	30" O.C.	3 Gal. Cont. / Full	
	FS	Ficus religiosa	Fig	24" O.A.	30" O.C.	3 Gal. Cont. / Full / Shrub-form	
	GG	Galphimia glauca	Thyris	30" O.A.	30" O.C.	3 Gal. Cont. / Full	
	HPC	Hamelia patens 'Calusa'	Fireleaf	24" O.A.	30" O.C.	3 Gal. Cont. / Full	
	HR	Hibiscus rosa-sinensis 'Bicolor Red'	Single Red Hibiscus	30" O.A.	30" O.C.	3 Gal. Cont. / Full	
	JP	Jacquinia pumila	Yellow Anise	30" O.A.	30" O.C.	3 Gal. Cont. / Full	
	BN	Box cordata 'Burfordi Haze'	Dwarf Burfordi Holly	20" O.A.	30" O.C.	3 Gal. Cont. / Full	
	VSQ	Ilex vomitoria 'Schilling's Dwarf'	Dwarf Yaupon Holly	18" O.A.	30" O.C.	3 Gal. Cont. / Full / Do not trim into a round ball	
	JCP	Jurinea cuneata 'Pavilion'	Pavilion Juniper	24" O.A.	30" O.C.	3 Gal. Cont. / Full	
	JM	Jasminum multiflorum	Chinese Fringe Branch	18" O.A.	30" O.C.	3 Gal. Cont. / Full	
	LOR	Loropetalum chinensis 'Rufum'	Japanese Privet	30" O.A.	30" O.C.	3 Gal. Cont. / Full	
	LJ	Ligustrum japonicum	Pink Oleander	30" O.A.	48" O.C.	3 Gal. Cont. / Full	
	NGH	Nerium oleander 'Hardy Pink'	Blue Leucanth	24" O.A.	30" O.C.	3 Gal. Cont. / Full	
	PAB	Plumbago auriculata 'Imperial Blue'	White Plumbago	24" O.A.	30" O.C.	3 Gal. Cont. / Full	
	PAW	Plumbago auriculata 'White'	White Plumbago	24" O.A.	30" O.C.	3 Gal. Cont. / Full	
	PM	Podocarpus macrophylla	Yew	4" Hgt. x 2' Spd.	30" O.C.	7 Gal. Cont. / Full / Plant ball to ball	
	PMD	Podocarpus macrophylla 'Dwarf Pringle'	Dwarf Pringle Yew Podocarpus	24" O.A.	24" O.C.	3 Gal. Cont. / Full	
	PTV	Photinia tobinia 'Variegata'	Variegated Photinia	24" O.A.	30" O.C.	3 Gal. Cont. / Full	
	RA	Rapanea indica 'Abu'	White Indian Hawthorn	12" Hgt. x 18" Spd.	30" O.C.	3 Gal. Cont. / Full	
	RF	Rhododendron azalea 'Fashion'	Fashion Azalea	18" O.A.	24" O.C.	3 Gal. Cont. / Full (Salmon)	
	RGG	Rhododendron azalea 'GG Gertrud'	GG Gertrud Azalea	18" O.A.	24" O.C.	3 Gal. Cont. / Full (White)	
	RL	Rhododendron 'Lavender Formosa'	Lavender Formosa Azalea	20" O.A.	30" O.C.	3 Gal. Cont. / Full (Lavender)	
	RPR	Rhododendron azalea 'Pink Ruffles'	Pink Ruffles Azalea	18" O.A.	24" O.C.	3 Gal. Cont. / Full (Pink)	
	RPR	Rhododendron azalea 'Pink Ruffles'	Pink Ruffles Azalea	18" O.A.	24" O.C.	3 Gal. Cont. / Full (Red)	
	RSC	Rhododendron 'Southern Charm'	Southern Charm Azalea	20" O.A.	30" O.C.	3 Gal. Cont. / Full (Pink)	
	RR	Rosa x 'Ravenscroft'	Pink Double Knock Out Rose	24" O.A.	30" O.C.	3 Gal. Cont. / Full	
	SR	Sorbus repens	Saw Palmetto (Green Form)	36" O.A.	60" O.C.	Full 15-20 stems per plant	
	VOD	Viburnum coccineum 'Dense'	Dense Winters Viburnum	24" O.A.	30" O.C.	3 Gal. Cont. / Full	
	VO	Viburnum coccineum	Sweet Viburnum	36" O.A.	42" O.C.	3 Gal. Cont. / Full	
	ZF	Zamia furcata	Cardinal Palm	24" O.A.	30" O.C.	3 Gal. Cont. / Full / 8 leaves min.	
	ZP	Zamia pumila	Coastal Palm	18" O.A.	30" O.C.	3 Gal. Cont. / Full / 11 leaves min.	

GROUNDCOVERS							
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	
	AGO	Agave attenuata 'Dwarf'	Peter Pan Agave	8" O.A.	12" O.C.	1 Gal. Cont. / Full / 5 plants per pot	
	DT	Dianella caerulea 'Variegata'	Variegated Flax Lily	12" O.A.	18" O.C.	1 Gal. Cont. / Full	
	DB	Dietes bicolor	Yellow African Iris	14" O.A.	18" O.C.	1 Gal. Cont. / Full / 3 plants per pot	
	DV	Dietes vegeta	White African Iris	14" O.A.	18" O.C.	1 Gal. Cont. / Full / 3 plants per pot	
	EVG	Eranthis glomerata	Star Flower	12" O.A.	18" O.C.	1 Gal. Cont. / Full / 5 plants per pot	
	GP	Glandorpia pubescens	Adiantum	12" O.A.	18" O.C.	1 Gal. Cont. / Full / 5 plants per pot	
	HSA	Hemerocallis sp. 'Autumn Gold'	Autumn Gold Day Lily	12" O.A.	18" O.C.	1 Gal. Cont. / Full / 5 plants per pot	
	JCP	Jurinea cuneata 'Blue Pacific'	Shore Juniper	6" Hgt. x 18" Spd.	30" O.C.	3 Gal. Cont. / Full	
	LGM	Lantana 'Gold Mound'	Yellow Dwarf Lantana	8" Hgt. x 12" Spd.	18" O.C.	1 Gal. Cont. / Full / 3 trailing runners min.	
	LM	Lantana montevidensis	Trailing Lantana	8" Hgt. x 12" Spd.	18" O.C.	1 Gal. Cont. / Full / 3 trailing runners min.	
	LEO	Liriodendron 'Emerald Green'	Emerald Green Lily Turf	12" O.A.	20" O.C.	1 Gal. Cont. / Full / 7 plants per pot	
	LB	Liriodendron 'Blue Bird'	Big Blue Lily Turf	8" O.A.	12" O.C.	1 Gal. Cont. / Full / 10 plants per pot	
	TAM	Taxodium distichum 'Aristata'	Aristata Cypress	12" runners	18" O.C.	1 Gal. Cont. / Full / 3 trailing runners min.	
	TV	Turkey Violets	Society Garlic	12" O.A.	12" O.C.	1 Gal. Cont. / Full / 5 plants per pot	

ORNAMENTAL GRASSES							
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	
	CS	Cortaderia selloana	Pampas Grass	36" O.A.	48" O.C.	3 Gal. Cont. / Full Clump / Plant as shown	
	SP	Stipa tenuifolia	Stipa Grass	24" Hgt.	36" O.C.	3 Gal. Cont. / Full	
	MCP	Muhlenbergia capillaris	Pink Muhlenbergia	34" O.A.	36" O.C.	3 Gal. Cont. / Full	
	HQ	Hesperis matronalis	Queen's Garden	18" Hgt. x 18" Spd.	24" O.C.	3 Gal. Cont. / Full	
	PSC	Parthenocissus vitacea 'Cupressus'	Red Fountain Grass	24" O.A.	24" O.C.	Full	
	PSW	Parthenocissus vitacea	White Fountain Grass	24" O.A.	24" O.C.	Full	
	TDD	Tillandsia distachya 'Dwarf'	Dwarf Faintly-flowered Grass	18" Hgt. x 18" Spd.	30" O.C.	1 Gal. Cont. / Full / 5 plants per pot	

ANNUALS AND PERENNIALS							
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	
	ANN	Annuale in Season	To be selected by Owner	8" 8" O.A.	8" O.C.	4" Pot / Full / Blooming	
	MP	Mixed perennials	(To be selected by Owner)	Varies	8" O.C.	4" Pot / Mixed Perennials in Season / Full / Blooming	

TURF							
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	
	PMA	Parthenocissus vitacea 'Aristata'	Argentine Setaria Sod	Solid sod from palm		See specification / Quality in square feet	
	ZDY	Zamia distachya	Zamia Turfgrass var. 'Greenfield'	Solid sod from palm		See specification / Quality in square feet	



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LANDSCAPE NOTES  
& PLANT SCHEDULE

Date:	OCT. 07, 2014	Scale:	NA
Drawn By:	JYP	Designed By:	EML, JYP
Approved By:	EML	Project No:	2.14153

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Sheet Number:

L40.01



# PLANT LEGEND

- TYPE 'A' LANDSCAPE BUFFER (13') (SEE 1/L40.03)
- TYPE 'B' LANDSCAPE BUFFER (11') (SEE 2/L40.03)
- TYPE 'C' LANDSCAPE BUFFER (15') (SEE 3/L40.03)



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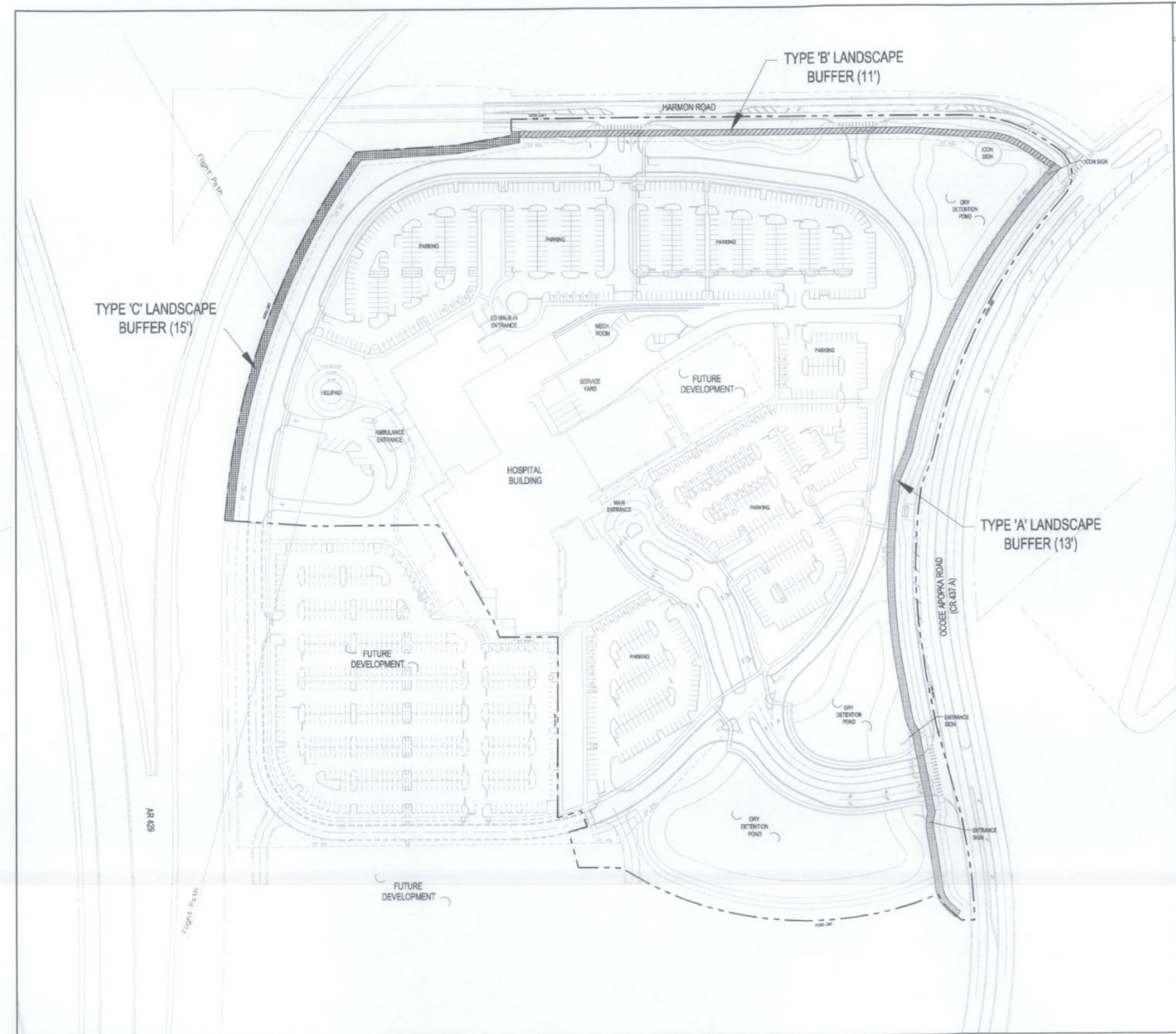
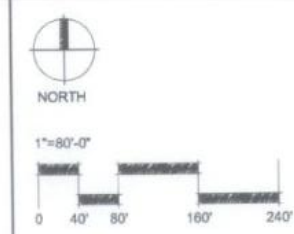
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**LANDSCAPE BUFFER  
DIAGRAM**

Date:	OCT. 07, 2014	Scale:	1"=80'-0"
Drawn By:	JYP	Designed By:	EML, JYP
Approved By:	EML	Project No:	2.14153

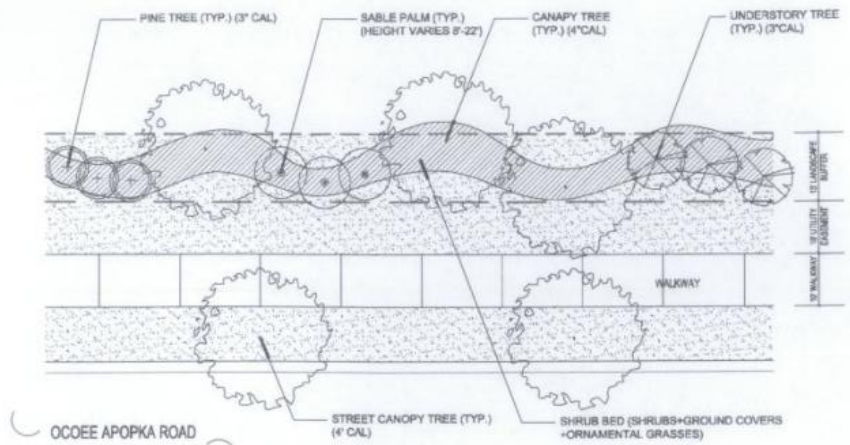
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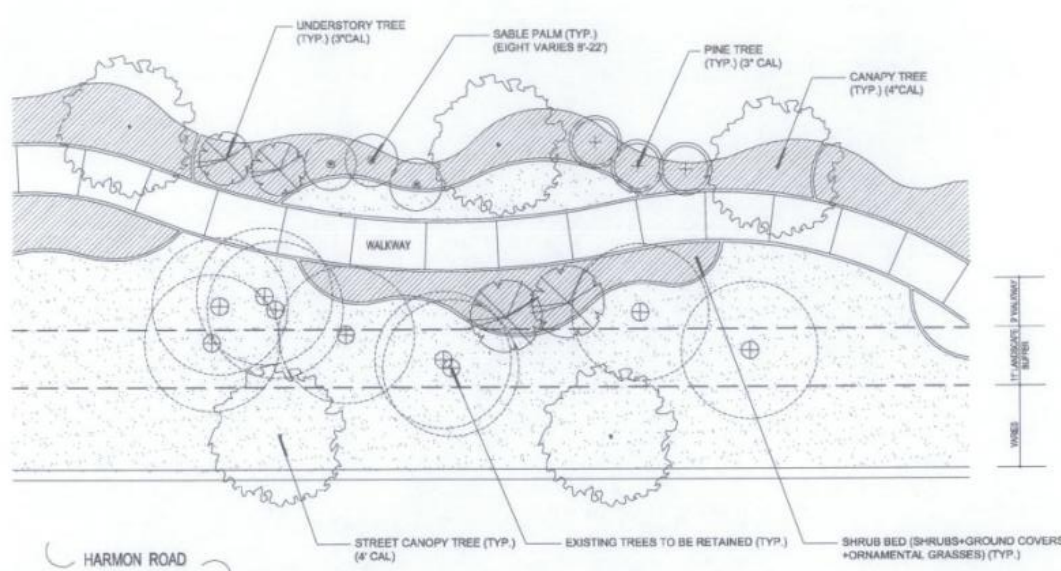
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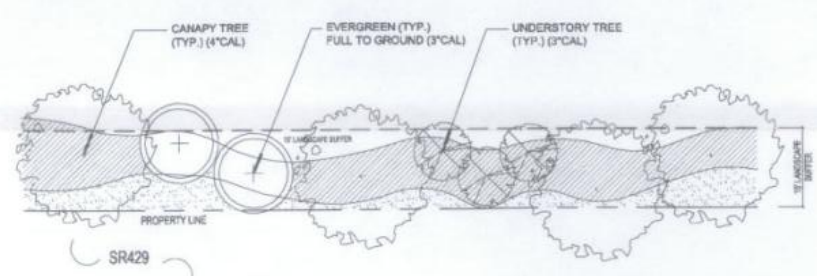




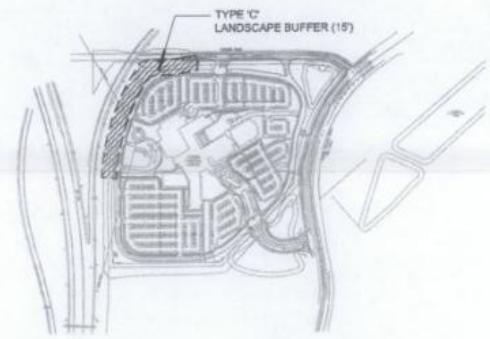
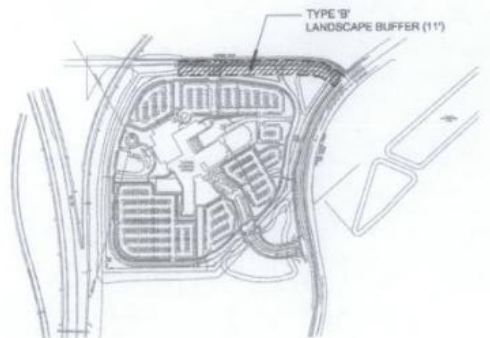
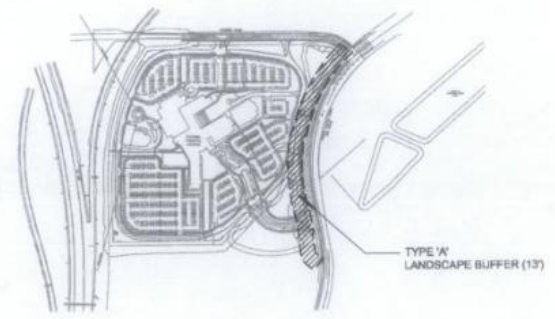
1 TYPE 'A' LANDSCAPE BUFFER (13')  
PLAN



2 TYPE 'B' LANDSCAPE BUFFER (11')  
PLAN



3 TYPE 'C' LANDSCAPE BUFFER (15')  
PLAN



### PLANT LEGEND

#### ORNAMENTAL TREES

- CANOPY TREE (TYP.) (4' CAL)
- UNDERSTORY TREE (TYP.) (3' CAL)
- EVERGREEN TREE (TYP.) - FULL TO GROUND (3' CAL)
- PINE TREE (TYP.) (3' CAL)

#### PALM TREES

- SABLE PALM (TYP.) (HEIGHT VARIES 8'-22')

#### SHRUBS AND GROUND COVER SYMBOLS

- SHRUB
- TURF

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**LANDSCAPE BUFFER  
TYPICAL PLANS**

Date:	OCT. 07. 2014	Scale:	1"=15'
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Approved By:	EML	Project No:	2.14153

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RECREATION AND  
OPEN SPACE PLAN

Date:	OCT. 07. 2014	Scale:	1"=80'-0"
Drawn By:	JYP	Designed By:	EML, JYP
Approved By:	EML	Project No:	2.14153

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LEGEND

RECREATIONAL SPACE

COMMUNITY OPEN SPACE

HEALING GARDEN

COMMUNITY GARDEN / HEALING GARDEN

KID'S PLAY AREA

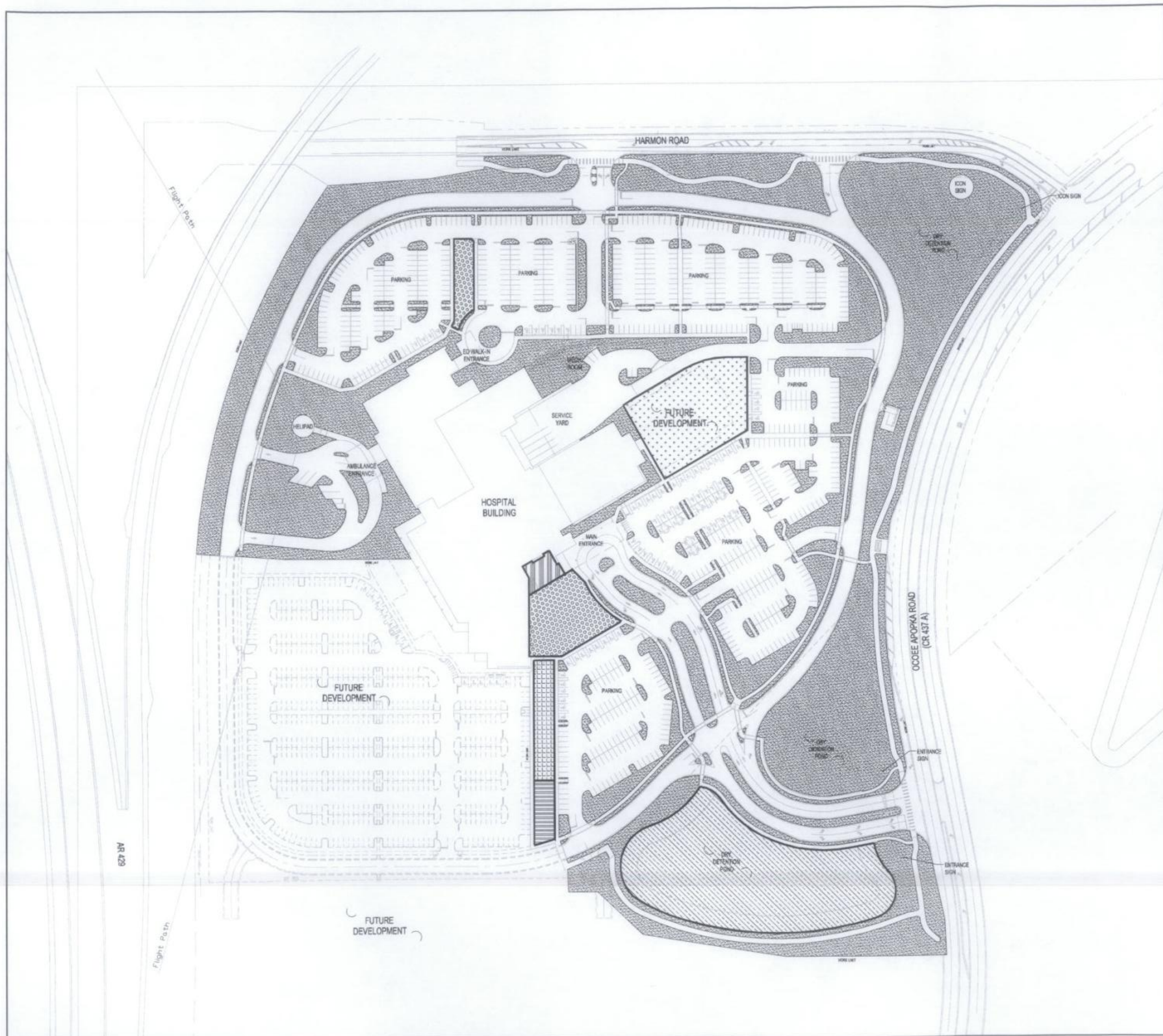
MULTI-PURPOSE EVENT LAWN AREA

OUTDOOR TERRACE

OPEN SPACE


NORTH


1"=80'-0"  
0 40' 80' 160' 240'





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TREE PLAN

Date:	OCT. 07, 2014	Scale:	1"=30'-0"
Drawn By:	JYP	Designed By:	EML, JYP
Approved By:	EML	Project No:	2.14153

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PLANT LEGEND

ORNAMENTAL TREES

SHADE TREE  
(MIN. 3" CALIPER)
  FLOWERING / ORNAMENTAL TREE  
(MIN. 8' HEIGHT)
  EVERGREEN TREE  
(MIN. 8' HEIGHT)
  EXISTING TREE TO REMAIN
 

NOTE: SELECT TREES TO REMAIN BASED ON TREE SURVEY AND FINAL ENGINEERING

PALM TREES

PALM TREE  
(HEIGHT VARY)

SHRUB AND GROUNDCOVER SYMBOLS

SHRUB
  GROUNDCOVER
  ORNAMENTAL GRASS
  TURF
  MULCH

KEY MAP

NORTH

1"=30'-0"

Page 60



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TREE PLAN

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Approved By:	EML	Project No:	2.14153

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PLANT LEGEND

ORNAMENTAL TREES


 SHADE TREE  
(MIN. 3" CALIPER)



 FLOWERING / ORNAMENTAL TREE  
(MIN. 8' HEIGHT)


 EVERGREEN TREE  
(MIN. 8' HEIGHT)



 EXISTING TREE TO REMAIN


NOTE: SELECT TREES TO REMAIN BASED ON TREE SURVEY AND FINAL ENGINEERING


PALM TREES



 PALM TREE  
(HEIGHT VARY)


SHRUB AND GROUNDCOVER SYMBOLS


 SHRUB

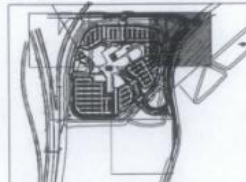

 GROUNDCOVER



 ORNAMENTAL GRASS



 TURF

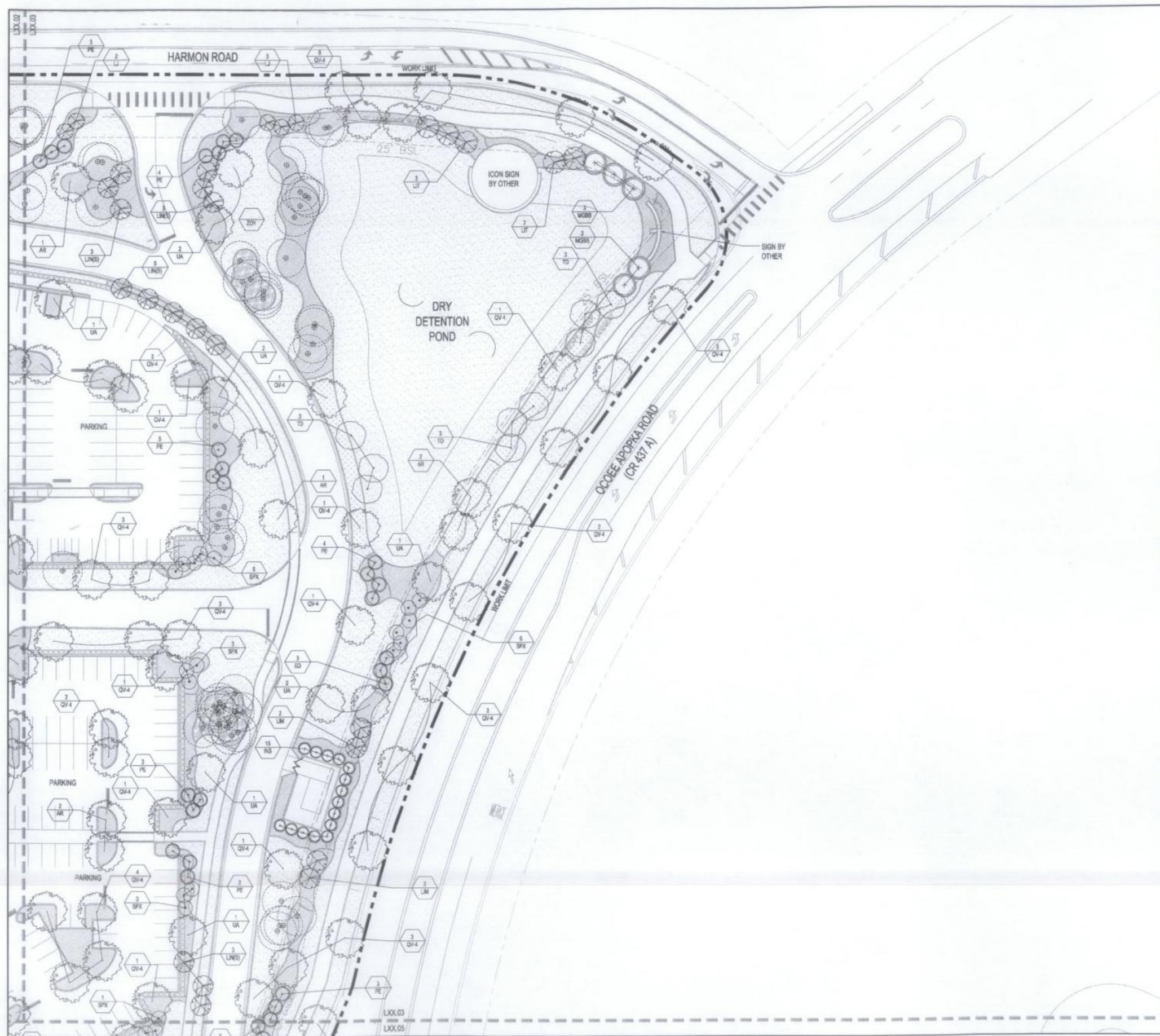

 MULCH

KEY MAP

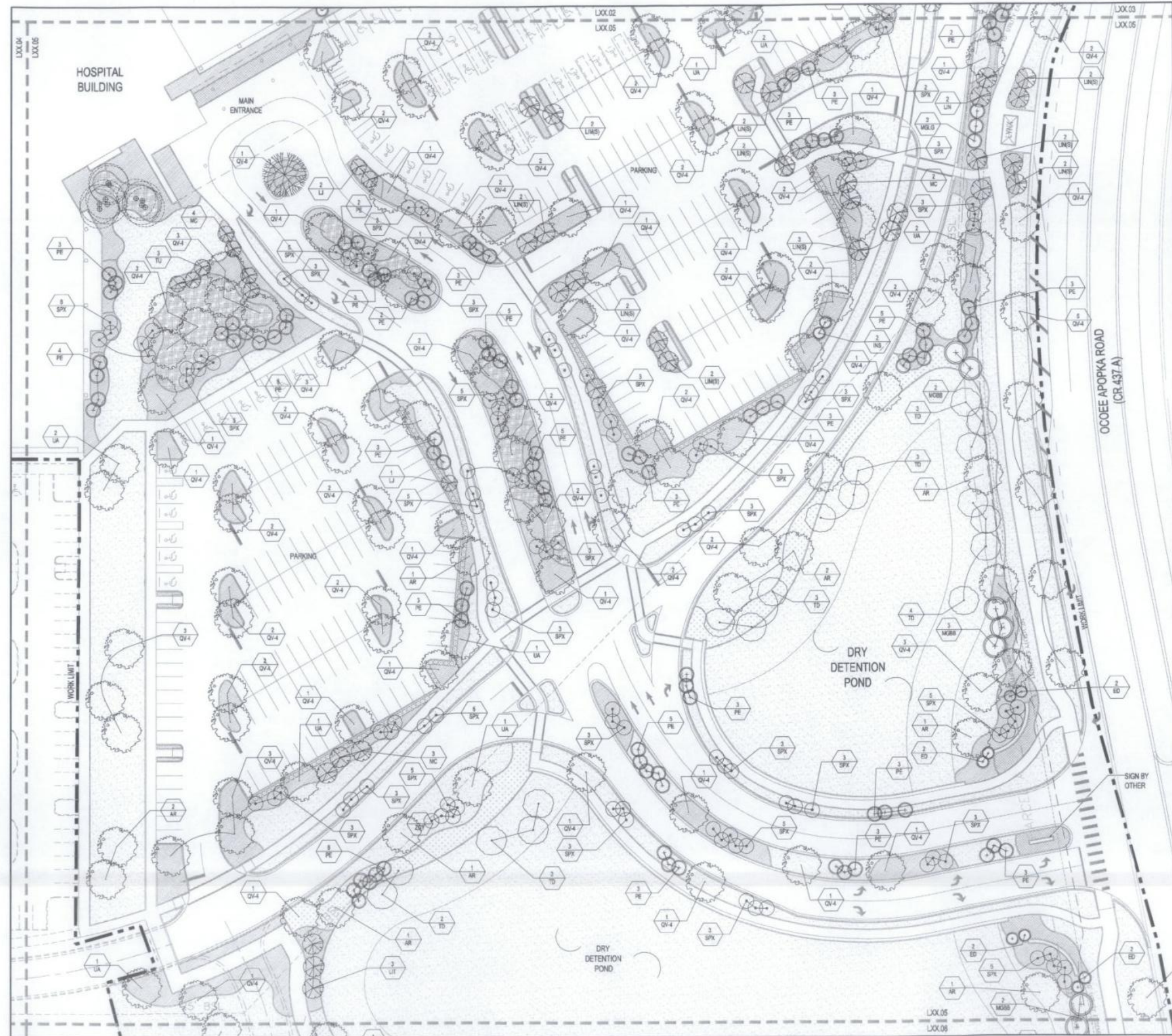



  
NORTH

1"=30'-0"  








**PLANT LEGEND**

**ORNAMENTAL TREES**

- SHADE TREE (MIN. 3" CALIPER)
- FLOWERING / ORNAMENTAL TREE (MIN. 8' HEIGHT)
- EVERGREEN TREE (MIN. 8' HEIGHT)
- EXISTING TREE TO REMAIN

NOTE: SELECT TREES TO REMAIN BASED ON TREE SURVEY AND FINAL ENGINEERING

**PALM TREES**

- PALM TREE (HEIGHT VARY)

**SHRUB AND GROUNDCOVER SYMBOLS**

- SHRUB
- GROUNDCOVER
- ORNAMENTAL GRASS
- TURF
- MULCH

**KEY MAP**

**North Arrow**

**Scale: 1"=30'-0"**

0 15' 30' 60' 90'

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Approved By:	EML	Project No:	2.14153

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